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ATTACHMENT "B"
**McCLELLAN PARK WAYFINDING
AND SIGNAGE MASTER PLAN**



**Zoning Code of Sacramento County
Title 5, Chapter 11, Article 1**

Adopted - June 10, 2009





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7 | Introduction

This *McClellan Park Wayfinding and Signage Master Plan* (henceforth, referred to as “Master Plan”) will replace and amend the signage standards in the McClellan Park Special Planning Area (SPA). In keeping with the intent of the SPA, the Master Plan has been developed to promote the orderly transition of the former air force base into a cohesive and attractive industrial business park. Recognizing that the signage system is an integral part of the site environment, this Master Plan will coordinate the signage development at McClellan Park to avoid the visual clutter that can result over time from uncoordinated signage development. The Master Plan is also intended to enhance the identity of the business park, improve the circulation and orientation of visitors to the site, and establish a clear, fair, and efficient system of tenant identification and signage review. These standards are enforced to ensure the continuity, visibility, and quality of all signage in keeping with the regulations of Sacramento County (County) and with the overall theme of the business park.

The Signage Master Plan is designed and written to be flexible and comprehensive to address the unique characteristics and complexity of the McClellan Park project site and the wide range of tenants and businesses served by the business park. This Master Plan will establish a clear, comprehensive vision for the signage system and design for McClellan Park and establish a fair system for reviewing tenant signage. Minor modifications to the signage standards that are consistent with the intent of this Master Plan if approved by McClellan Park and the County shall be permitted by administrative review or through the County’s design review process. Minor modifications to the Master Plan will not require an SPA amendment revising the Master Plan, unless this change to the Master Plan is found to be necessary under the discretion of McClellan Park or the County.

1.1 Applicability

The provisions and standards of this document shall apply to future signage on all properties within the project boundaries of the McClellan Park SPA, depicted in Figure 1.1. The provisions contained herein supersede previous SPA signage standards. All existing signs and uses within these project boundaries shall continue to be permitted and exempt from the requirements of this Master Plan. Unless otherwise specified in this Master Plan, Chapter 35, “Sign Regulations,” in the



McClellan Park Special Planning Area

County of Sacramento Zoning Code (Zoning Code) shall govern. To the extent that any of the provisions in this Master Plan conflict with other provisions of the Zoning Code, the provisions of this Master Plan shall prevail.

Signs permitted at McClellan Park include, but are not limited to, the signs described within this document. Other sign types may also be permitted, subject to the provisions of this Master Plan and Chapter 35, “Sign Regulations,” in the Zoning Code. Prohibited signs are regulated under Section 335-09 of the Zoning Code, except where otherwise specified by this Master Plan. Refer to Chapter 25 of the Zoning Code for sign definitions.

1.2 Overview of Sign Types and Objectives

This Master Plan document sets the vision and communicates the basic standards that will be used to approve all future signage at McClellan Park. This Master Plan has been organized based on four categories of signage needs identified for McClellan Park. These signage categories include wayfinding and business park identification signs, tenant identification signs, temporary event signs, and site information signs. A brief overview of the objectives and the associated sign types for each sign category follow.

1.2.1 McClellan Park (MP) Wayfinding and Identification Signs

Sign Objectives:

- Provide clear directional information to visitors and patrons to get them safely to their destination.
- Safely and efficiently orient visitors to the site through a clear, organized system and hierarchy of signage.
- Establish a signage system throughout the business park that is consistent, legible, and compatible with the business park’s architectural and site planning concepts.
- Establish a signage system that promotes or compliments the reuse and renewal of existing buildings and structures.
- Ensure that signs do not, because of their heights, location, or design decrease the safety and efficiency of traffic flow on fronting streets.
- Provide entrance transitions and connections to adjacent development, including the North Highlands Town Center.

Sign Types:

- MP.1 Site Entry Monument Signs and Wall Signs
- MP.2 Directional Signs
 - MP.2.1 Primary Directional Signs
 - MP.2.2 Secondary Directional Signs
- MP.3 Landmark Signs
- MP.4 Site Information Maps
 - MP.4.1 Site/District Information Maps
- MP.5 Banner Signs
- MP.6 Oversized Business Park Signs
- MP.7 Electronic Liquid Crystal Displays (LCDs)/ Readerboard Signs

1.2.2 Tenant (T) Identification Signs**Sign Objectives:**

- Provide tenants, sign designers, and fabricators guidelines for controlling signs with design criteria that are clear, concise, uniform, and compatible with the character of the development.
- Allow sufficient but not excessive business identification so that each business in the development is clearly represented and visible.
- Develop a legible system of addressing and business identification.

Sign Types:

- T.1 Building-Mounted Signs
 - T.1.1 Wall Signs
 - T.1.2 Pedestrian Signs
 - T.1.3 Awning Signs
 - T.1.4 Banner Signs
- T.2 Freestanding Signs
 - T.2.1 Monument Signs

- T.2.2 Directory Signs
- T.2.3 Directional Signs
- T.3 Address Signs

1.2.3 Temporary Event (E) Signs

Sign Objectives:

- Allow sufficient but not excessive temporary signage, as needed, for building, site, or event signs.
- Provide design criteria for temporary event identification that is clear, concise, and uniform.
- Create a legible system of event identification that is differentiated from permanent site signage.

Sign Types:

- E.1 Sales Signs
- E.2 Event Identification Signs
- E.3 Event Directory Signs

1.2.4 Site (S) Information Signs

Sign Objectives:

- Provide signage for the convenience and needs of public on-site users.
- Provide signs identifying or providing information at public use areas including parks, trails, open space, and bus stops as well as warning signs where public access is limited or where caution should be exercised.
- Provide opportunities for educational signage such as a wetland interpretative program.

Sign Types:

- S.1 Signs for Parks and Open Space
- S.2 McClellan Park Jet Services Signs
- S.3 Warning Signs

1.3 How to Use This Document

Review and use the information contained in these chapters for sign design standards and guidelines.

Identify the applicable sign type contained in Sections 2 through 5 and follow the criteria in those sections. Refer to Appendix I, where applicable, for design drawings.

1. Introduction

This chapter establishes the project objectives of the McClellan Park signage program, provides information on the organization of the document, describes the existing signage conditions, and the opportunities to improve the signage at McClellan Park with a coordinated signage system.

2. McClellan Park Wayfinding and Identification Signs

This chapter describes the system of business park identification and wayfinding signs prescribed for McClellan Park. Refer to Appendix I for developed design drawings of the wayfinding signage system.

3. Tenant Identification Signs

This chapter describes the tenant sign types and sets the standards and design criteria for the review of future tenant signage at McClellan Park. Refer to Appendix I for design drawings of the uniform tenant signage system.

4. Temporary Event Signs

This chapter describes the standards for temporary event signs, including sales/advertising signs.

5. Site Information Signs

This chapter describes the standards for all types of public information signs including parks and open space signs, warning signs, and signs required for the function and operation of McClellan Park Jet Services.

6. Appendix I: Design Drawings

The appendix chapter provides design drawings, including typical elevations and sign dimensions, for the freestanding site entry monument signs, wayfinding identification signs, and typical tenant monument signs planned for McClellan Park.

1.4 Existing Project Site Signage

Needs and Opportunities

The current signage at McClellan Park is a blend of the old and new identities of the site. Signage at McClellan Park has developed over time on an individual project basis. Building numbers were the main form of address identification on the former air force base. As the air force base has converted to become a mixed-use business park, there is a need to transition from the use of building numbers to the more familiar system of street addresses to better serve the identification needs of McClellan Park and its tenants. The series of images on the next pages describe the site conditions and needs and opportunities of the existing site signage.

Site Images	Existing Site Condition	Needs and Opportunities
	<p>Two systems of signage (addresses and building numbers) are present at McClellan Park.</p>	<p>Building numbers do not follow a logical system of identification and are not useful wayfinding aids without a site map. A transition from the use of building numbers to addresses is needed.</p>
	<p>Undefined buildings and streets contribute to the wayfinding confusion.</p>	<p>Clear identification of streets and addresses through site landscaping and signage can assist visitors with wayfinding.</p>
	<p>Many tenants have long access drives that are not well defined.</p>	<p>More signage is needed at tenant access drives, especially for tenants lacking public street frontage and having long access drives.</p>
	<p>Many buildings at the business park have large, monotonous, blank wall surfaces.</p>	<p>Blank wall façades can benefit from being dressed up with color accents or can even carry signage to give the building identity, as seen in the image on the left.</p>
	<p>Examples of abandoned and reused sign structures are scattered throughout the site.</p>	<p>Existing structures are reuse opportunities and may become a part of the signage system landscape.</p>
	<p>Emerging districts and development of sites, such as Lions Gate, are beginning to give identity to various areas of the business park.</p>	<p>Many areas of the business park can benefit from unique district identification to further define the destination.</p>

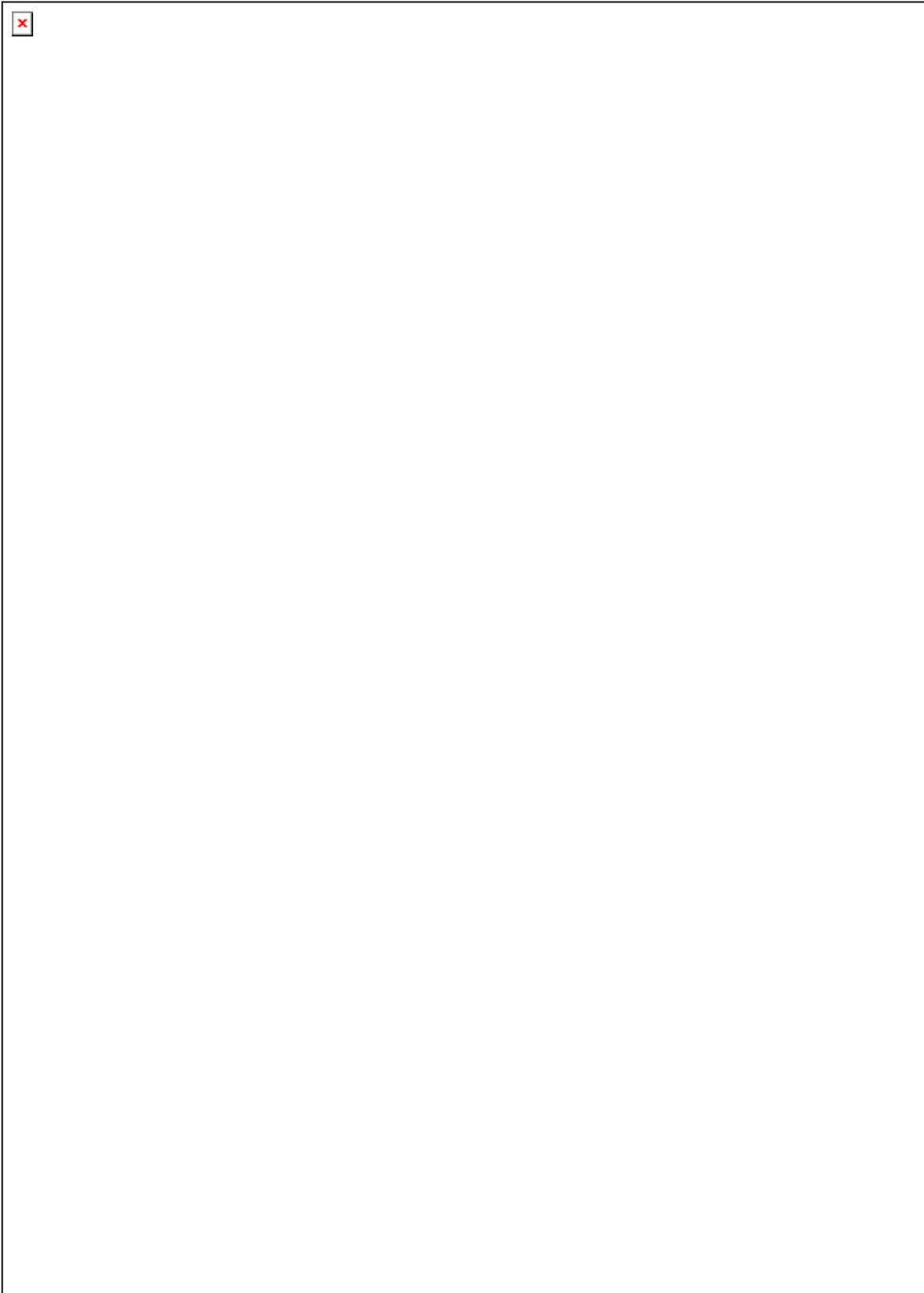
1.5 A New Wayfinding System for McClellan Park

The wayfinding system planned for McClellan Park places emphasis on making streets and building addresses the primary form of site orientation. The appearance of new street signs and the gradual replacement of building numbers with building addresses is a step in easing the wayfinding confusion at McClellan Park. However, a coordinated wayfinding signage system is also needed to organize the circulation around and through the site and to establish the site boundaries for McClellan Park.

The planned wayfinding system recognizes the airfield base core as a clear physical and structural site divide and starts by organizing McClellan Park into three main districts- East McClellan, West McClellan, and the Aviation Core District. It identifies Dudley Boulevard and Bell Avenue as the main circulation spine connecting the districts. Refer to Figure 1-1 for the boundaries of the East McClellan, West McClellan, and Aviation Core Districts and for the location of the Dudley Boulevard/ Bell Avenue circulation spine.

A system of directional signs, base maps, and identification markers will be strategically positioned along Dudley Boulevard to guide the visitor from the point of entry to their desired destination(s).

Figure 1.1 McClellan Park Districts



2 | McClellan Park Wayfinding and Identification Signs

2.1 McClellan Park Wayfinding Signs

McClellan Park wayfinding and identification signs present a uniform image and character for the business park and aid visitors in finding their way around the site.

MP.1 Site Entry Monument Signs

Site entry monument signs provide identification signage at the major entrances into McClellan Park (refer to Figure 2.7, “Wayfinding Signage Location Map” for the location of identified major entrances into McClellan Park). Special site entry monument signs and streetscape improvements including new street lights are planned along Peacekeeper Way and Palm Avenue. Both major site entries proposed into McClellan Park will include monument signs consisting of a trellis structure; a variety of specially designed low walls with fencing and pilasters; directional signs; and special landscaping (refer to Figures 2.1 and 2.2 for an illustration of the proposed monument pilasters and Figures 2.3 and 2.4 for elevation views of the monument signage on Peacekeeper Way and Palm Avenue, respectively).

Refer also to Appendix I, Figure MP.1.1 for conceptual site plans and elevations of Peacekeeper Way and Figure MP.1.2 for conceptual site plans and elevations of Palm Avenue.

Standards

- The site entry signs identify McClellan Park, the McClellan Park logo, and the street name of the site entrance.
- Signs shall be placed at major site entrances and, as directed in the Zoning Code and SPA, will include, “special landscape treatment and a unified theme.” Site entrance signs shall also be lighted.



Figure 2.1 Monument Pilaster

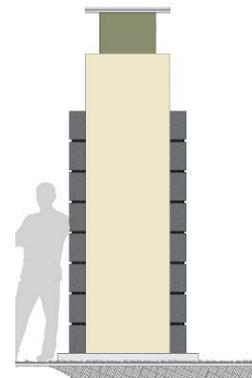


Figure 2.2 Signage Pilaster



Figure 2.3 MP.1.1-Monument Sign on Peacekeeper Way



Figure 2.4 MP.1.2-Monument Sign on Palm Avenue



Existing Directional Sign at Lions Gate

MP.2 Directional Signs

Directional signs are information signs placed to direct vehicular traffic to the different streets or destinations in McClellan Park.

Standards

- Directional sign identify only streets and districts and may identify McClellan Park public/guest services (i.e., McClellan Park Jet Services, the Aerospace Museum, and Lions Gate Hotel)
- Directional signs will be illuminated with a top beacon light fixture and/or ground lit. Two options for the design of the top beacon are represented in Figures 2.5 and 2.6. Refer to Appendix I for the design specifications and options for MP 2.1, “Primary Directional Signs” and MP 2.2, “Secondary Directional Signs.”

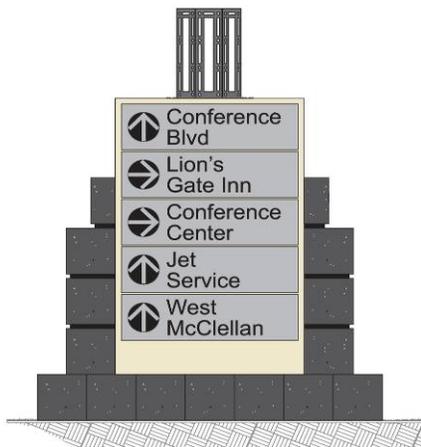


Figure 2.5 MP.2.1-Primary Directional Sign

MP.2.1 Primary Directional Signs

Primary directional signs, as shown in Figure 2.5, direct vehicular traffic to project streets and primary interest points along the main Dudley Boulevard/Bell Avenue circulation spine

Standards

- Placed for maximum visibility at intersections, key decision points, or destinations
- Shall be one- or two-sided and include no more than five panels.



Figure 2.6 MP.2.2-Secondary Directional Sign

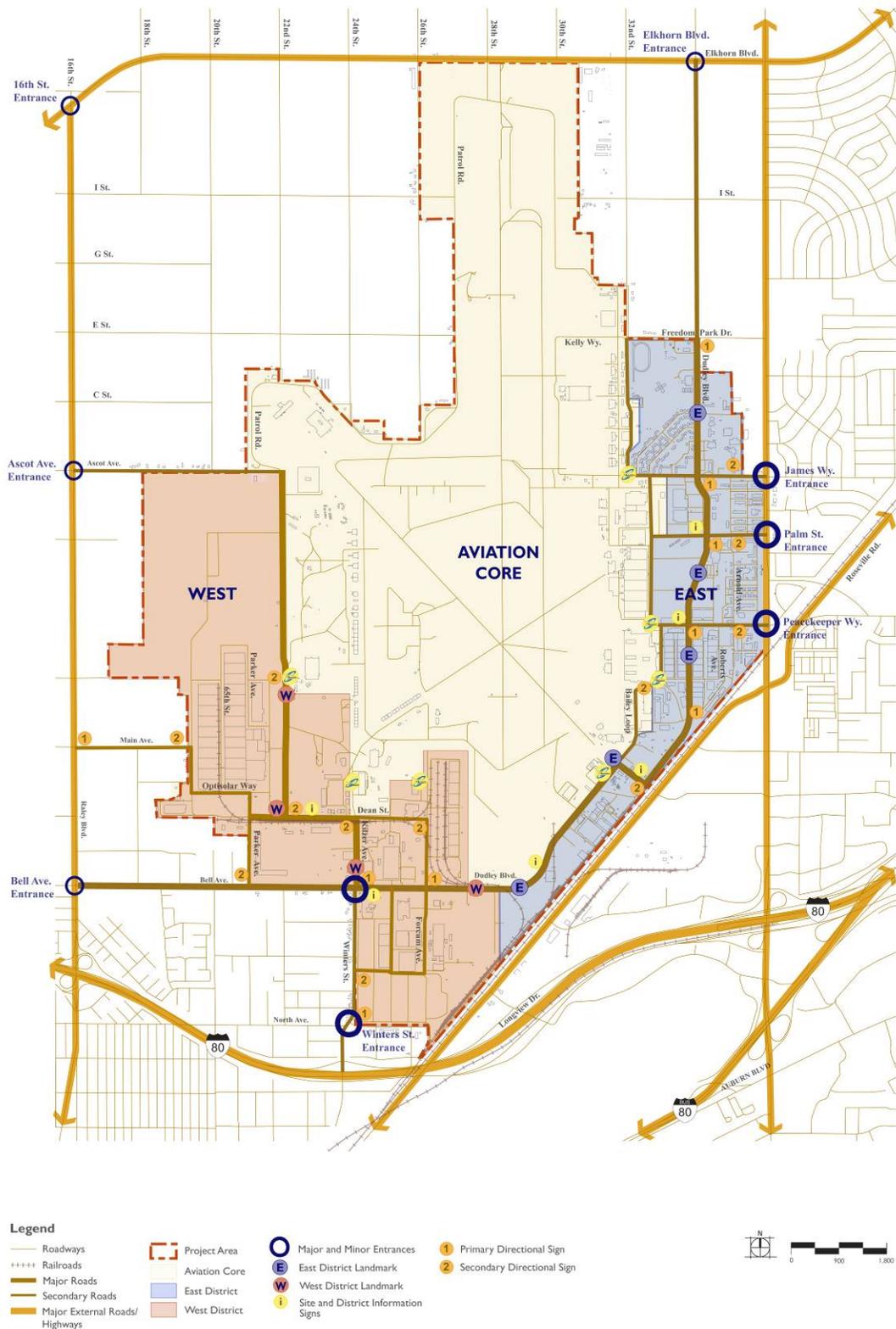
MP.2.2 Secondary Directional Signs

Secondary directional signs, as shown in Figure 2.6, are of smaller scale than primary directional signs and direct vehicular traffic from secondary streets

Standards

- Shall be one- or two-sided and include no more than three panels, per sign face.

Figure 2.7 Wayfinding Signage Locations



*Note: Refer to Appendix I for an enlarged location map.



Figure 2.5 MP.3- Landmark Sign

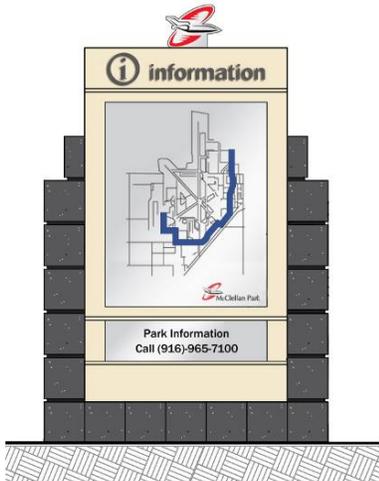


Figure 2.6 MP.4- Site Information Map

MP.3 Landmark Signs

Directional reinforcement signs that contain east or west district identification and wayfinding information (refer to Figure 2.5 and Figure 2-1 for site locations).

Standards

- Identify the east or west district and serve as directional reinforcement markers along the main circulation spine
- Include east or west district wayfinding information
- Landmark signs will be illuminated with a top beacon light fixture and/or up ground lit.

MP.4 Site Information Maps

Base location or directory map used to help orient visitors to the site (refer to Figure 2.6 and Figure 2-1 for site locations).

Standards

- Map of McClellan Park or smaller subarea, including streets, east-west district information, and the site circulation pattern. May have a sleeve for printed site information maps. Pull-off areas shall be provided.

MP.5 Banner Signs

Pole-mounted or building-mounted signs or signs mounted to streetlamps with specially designed brackets for business park identification and seasonal signage.

Standards

- Identify McClellan Park, site events, or seasons
- Pole-mounted or building-mounted signs or signs mounted to streetlamps for business park identification or seasonal signage

2.2 McClellan Park Identification Signs

Unconventional identification signs that advertise McClellan Park are encouraged and may include oversized signs, electronic LCD signs, and readerboard signs. Blank walls, characteristic of many of the existing buildings at McClellan Park, existing structures such as the water tower on Peacekeeper Way, and the fuel tanks on Dudley Boulevard can serve as a canvas for unique and original artwork that can serve as landmark features and representations of McClellan Park. These sites provide an opportunity to create an unique system of business park identification using painted business park logos, murals, or other works of art. Several blank structures facing the Interstate 80 freeway and Roseville Road are also positioned to serve as billboard signs that advertise the business park.

MP.6 Oversized Business Park Signs

Signs, banners, or other type artwork placed on blank building walls, water towers, or other existing structures on the site to advertise the McClellan Park community and its services

Standards

- The following structures, as indicated on Figure 2.8, are proposed locations for carrying new signage, subject to County approval. These business park identification or landmark signs may include the following:
 - Signs for advertising McClellan Park or other businesses as approved by the County
 - Districts identified and distinguished by color coding
 - Banner signs placed against a building
 - McClellan Park logos, murals or other works of art that are painted or attached to a building
 - McClellan Park logos, murals or other works of art that are painted or attached to structures approved for carrying signage
 - See sign type MP.7 for information on electronic LCDs and readerboards
- Signs shall not be used to advertise individual businesses, except for special events, but shall be used to promote McClellan Park as a community and advertise the public services and events on the site.
- Signs shall not create a distraction to drivers such as moving or rotating signs and signs that include words, phrases, symbols, lights, motion, sound, fumes, mist or other characteristics that may interfere, mislead, or confuse traffic.



The McClellan Park water tower with the painted logo is an example of an oversized Business Park sign

2 | McClellan Park Wayfinding and Identification Signs

McClellan Park Special Planning Area

- The height of signs shall not exceed the height of an otherwise permitted building structure as designated in the McClellan Comprehensive Land Use Plan.
- Oversized business park signs will require design review approval from the County.

MP.7 Electronic LCDs and Readerboards

Signs with changing displays that advertise the special services and events taking place at the business park

Standards

- Electronic displays or readerboards are permitted, subject to County sign regulations.
- Electronic display messages for on-site advertising, except public information messages, shall be programmed not to flash, move, or be animated, and shall adhere to a time interval of 4 seconds minimum for changing display.
- Electronic display signs or readerboards are proposed to be located on Freedom Park Drive, James Way, Peacekeeper Way, Winters Street, and Forcum Avenue.



Existing readerboard sign at Lions Gate Garden Pavilion

Figure 2.8 Oversized Business Park Signs and Landmarks

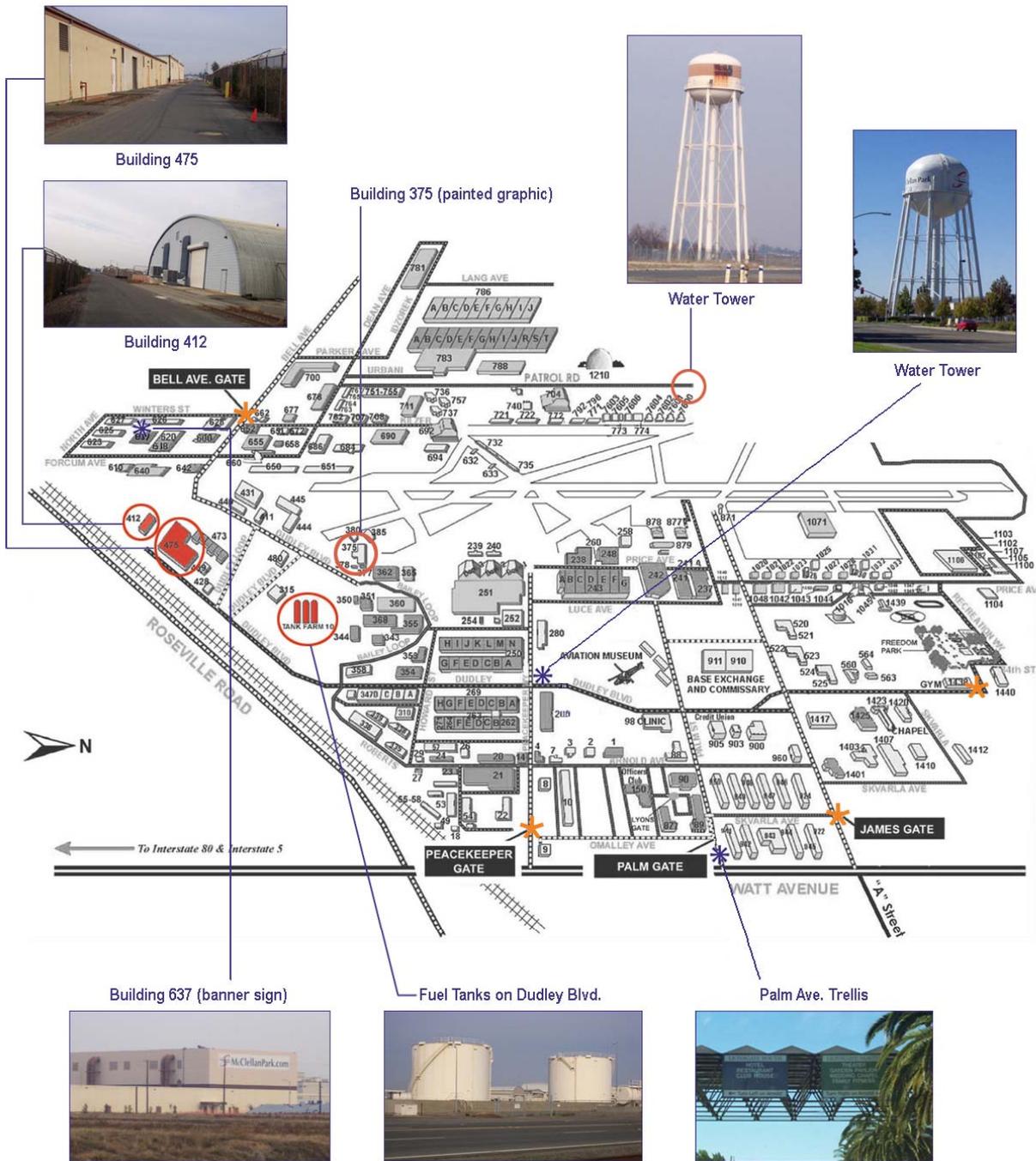


Figure 2-2 Oversized Business Park Signs and Landmarks

- ✱ Existing Signage Structures
- Existing Structures Proposed for Signage
- ★ Proposed Electronic LCD Reader Board

3 | *Tenant Identification Signs*

Tenant identification signs distinguish the name of a business or tenant occupying the building. Refer to this chapter for the design and installation of all types of tenant identification signs. These tenant sign standards and guidelines are provided to ensure quality signage at McClellan Park that adequately and fairly represents the identification needs of each tenant and emphasizes the coordination of signs located within multi-tenant buildings or multiple building or business center site configurations. This chapter is organized into the following sections, describing tenant identification sign types, development standards, and the design guidelines for evaluating signs.

The standards for tenant identification signs in this Master Plan are organized by sign type standards and tenant category standards (refer to the applicable tenant sign standards in Sections 3.1-3.3 and Tables T.1-T.3).

Section 3.1, “Sign Type Standards” describe the types of signs and standards that apply to building mounted signs, freestanding signs, and building addresses.

Section 3.2, “Tenant Category Standards” provide sign design standards applicable to the type of tenant site arrangement found at McClellan Park (including Single Tenant, Multiple Tenants [located in a single building], and Multiple Buildings or Business Center arrangements).

Section 3.3, “Specific Sign Design Standards” provides development standards (ie. design specifications, maximum sign area, heights, setbacks, placement and illumination) for all types of tenant signs.

Section 3.4, “Tenant Sign Design Guidelines” provides design guidelines for tenant identification signs accompanied by illustrations of the signage design concepts.

Tenant Sign Design Review and Approval

To ensure that tenant signage designs are uniform and of equal design and construction quality, all signage must be approved in writing by the McClellan Park Architectural Review Committee prior to installation and must have a sign permit from the County of Sacramento. Tenant identification signs shall be subject to the standards and guidelines of this Master Plan. All freestanding tenant identification signs within the McClellan Park SPA shall have a common signage monument base that is designed in accordance with the freestanding tenant sign design drawings, Figure T.2 in Appendix I, “Design Drawings.”

To the extent that any other provisions of the Zoning Code conflict with the tenant sign design standards in this chapter, these sign design standards shall prevail. Upon written permission and approval from McClellan Park, applicants seeking to install signs deviating from the standards specified in this Master Plan may apply for a use permit with the County of Sacramento and are subject to County regulations. Other sign types, not addressed in this chapter, may be permitted, subject to the provisions of Chapter 35, “Sign Regulations” in the Zoning Code.

3.1 Sign Type Standards



Wall Sign

This section summarizes the types of tenant identification signs that will typically occur at McClellan Park including building-mounted signs, freestanding signs, and address signs and provides the general design standards associated with each sign type. This section should be used in conjunction with the more detailed specifications for tenant identification signs in Section 3.3, “Specific Sign Design Standards.”

Other sign types may be permitted by the County and should refer to the standards in Chapter 35, “Sign Regulation,” of the Zoning Code. For a list of signs that are prohibited, refer to Section 335.09 of the Zoning Code.



Pedestrian Sign

T.1 Building-Mounted Signs

The following building-mounted sign types are typically found and preferred at McClellan Park:

- T.1.1 Wall Signs
- T.1.2 Pedestrian Signs
- T.1.3 Awning Signs
- T.1.4 Banner Signs

Their associated design standards follow below. Refer to Table T.1 for specific standards for building-mounted signs.

Sign Type Standards

T.1.1 Wall Signs

A sign suspended from a wall surface for support. Signs should identify the tenant name or business address only.

T.1.2 Pedestrian Signs

Also referred to as blade signs and hanging signs, pedestrian signs are attached or suspended from a support that projects perpendicular to a building wall. These projecting signs can include images, logos, or other symbols intended to provide visual interest for pedestrians or slow-moving vehicles.

- Pedestrian signs should be proportional to the building façade to which they are attached.
- Pedestrian signs may be one- or two-sided. For two-sided signs, the area of both sides of the sign shall count toward the overall maximum sign area permitted for building mounted signs.



Mount hanging pedestrian sign at a minimum of 8-foot above the sidewalk.

- Pedestrian signs shall provide a minimum 8-foot clearance height above the sidewalk and shall be spaced at least 25 feet apart to avoid sign clutter. Signs shall be placed so as not to interfere with the safe movement of people or vehicles in the public right-of-way.

T.1.3 Awning Signs

An awning sign is a message that is placed on a shaded canvas or other fabric covering that extends over a pedestrian walkway. Awnings provide shelter from the weather, reduce the scale of the building façade, and add color and interest along the pedestrian path.

- Signs on awnings shall be placed on the awning flap or most visible surface of the awning (usually a surface parallel to the wall). Characters and symbols shall be proportional to the size of the awning and a minimum of 8 inches high for legibility.
- Awning colors shall be selected to contrast with the color of sign characters and symbols.
- Both the color of the awning and sign message should be compatible with the colors and materials of the wall surface.

T.1.4 Banner Signs

A banner sign is a sign logo/design placed on fabric or other light-weight material and mounted perpendicular to the face of the building. Banner signs add color and liveliness to a pedestrian-oriented street.

- Temporary (30 day maximum) promotional banner signs or grand opening signs are permitted upon written approval from McClellan Park and as approved by Zoning Code Section 335.09.5(h). Refer to Chapter 4, “Temporary Event Signs” in this document.



Awning Sign



Choose awning colors that contrast with the color of the sign message.



Banner Sign

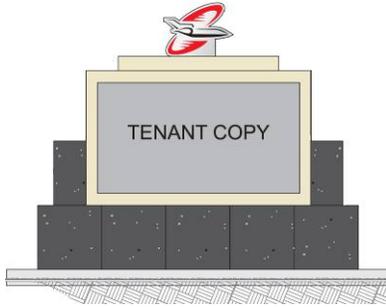


Figure 3.1 T.2.1- Tenant Monument Sign

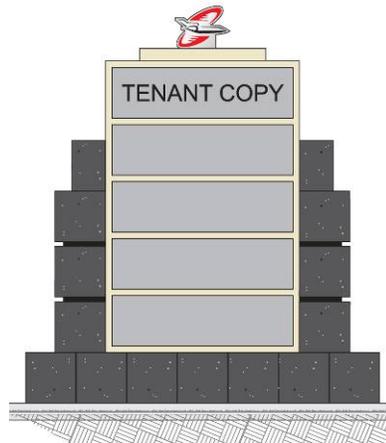


Figure 3.2 T.2.2- Tenant Directory Sign



T.2.3- Existing Tenant Directory Sign for Lions Gate Hotel



T.3- Address Signs

T.2 Freestanding Signs

The following freestanding sign types are typically found and preferred at McClellan Park (refer to Figures 3.1 and 3.2):

- T.2.1 Monument Signs
- T.2.2 Directory Signs
- T.2.3 Directional Signs

Their associated design standards follow below. Refer to Table T.2 for specific standards for freestanding signs.

Sign Type Standards

T.2.1 Monument Signs

Monument signs are signs constructed on a solid base or pedestal and are encouraged to be landscaped.

- Signs are encouraged to be ground lit.

T.2.2 Directory Signs

Identify three or more tenants located on the same or adjacent parcel where the sign is placed

- Signs are encouraged to be ground lit.

T.2.3 Directional Signs

Inform drivers of the location or direction to an establishment or place

- Directional signs may be one- or two-sided.

T.3 Address Signs

Raised letter or painted addresses, mounted on a building or glass surface are preferred. Refer to Table T.3 for the development standards for address signs.

Sign Type Standards

- Address signs shall be placed in a visible location facing a public street front.

3.2 Tenant Category Standards

Single Tenant Identification Signs

Identify a single tenant that may be located in one or more buildings on one or more lots

Multiple Tenant, Single Building Identification Signs

Identify multiple tenants occupying one building on one or more lots

Standards

- Multiple tenant buildings shall submit a signage package that provides design coordination of on-site signage and that is subject to the approval of McClellan Park and the County. Signs shall be coordinated through color, font, and/or typeface selection. Refer to Section 3.4 for illustrated examples of design guidelines.
- Signs may be placed on another existing legal lot for multiple tenant parcels served by a common access driveway, parking, or other public facilities. Tenants without a public street frontage or in remote locations are allowed to have a freestanding sign located at the site access driveway. Reasonable provisions shall be made for all tenant space without adequate signage visibility.

Signs for Multiple Building or Business Center Identification

Identify multiple tenants located on single or multiple lots who, in addition to sharing common lots, may share public spaces, facilities (courtyards, plazas, and parking), and/or patrons.

Standards

- Business center tenants shall submit a coordinated signage design program, subject to approval by McClellan Park and the County. Refer to Section 3.4 for sign design guidelines.
- Tenants without street frontage or frontage in the interior hallway or courtyards of a building may attach a sign to the exterior of a building upon approval of a conditional use permit from the County.
- Reasonable provisions shall be made for all tenant space without adequate signage visibility. More than one sign is permitted to be placed on another existing legal lot for parcels being served by a common access driveway or parking or sharing public facilities, such as a courtyard or park. Refer to tables in Section 3.3, “Specific Sign Design Standards.”



Single Tenant Building



Multiple Tenants in a Single Building

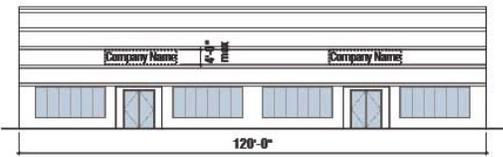
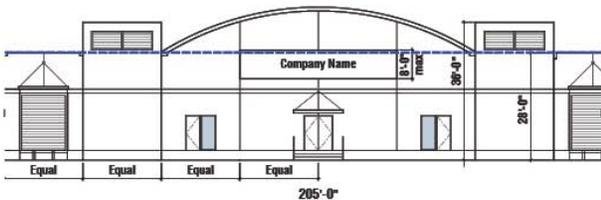


Multiple Buildings and Tenants on Multiple Lots

3.3 Specific Sign Design Standards

Table T.1 Building Mounted Sign Design Standards

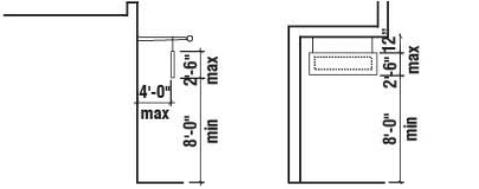
SIGN STANDARD	APPLICABLE SIGN TYPES ⁽¹⁾				SPECIFIC STANDARDS
	T.1.1 Wall Sign	T.1.2 Pedestrian Sign	T.1.3 Awning Sign	T.1.4 Banner Sign ⁽²⁾	
1. Design Specification	X	X	X	X	Tenant names and logos shall be designed to compliment surrounding architectural details and site landscaping designs. For Multiple Tenant and Multiple Building tenant arrangements, signs shall be coordinated in an overall signage program. Refer to Section 3.4 for design guidelines for Multiple Tenant signage and Multiple Building signage.
2. Sign Area	X	X	X	X	a) The area of all signs attached to a building shall not exceed the maximum area of 2 square feet of sign area per linear foot of tenant/building frontage. For signs on two street frontages, only one frontage is counted (see Illustration A).
	X				b) For individual letter signs without a distinct background, the area shall be computed at 75% of the circumscribed sign area (see Illustration C).
	X	X	X	X	c) Parcels with no public street frontage shall be allowed to advertise on a legal freestanding sign on the closest parcel that fronts on a public street. These signs shall have a maximum size of 12 square feet and shall be in addition to the sign area allowed for the parcel with public street frontage.
			X		d) Sign copy applied to an awning or canopy shall be computed at 100% of the area within a line enveloping the sign copy (see Illustration D).
		X			e) Signs may be one or two-sided, with a maximum area of 6 square feet for each sign face.

ILLUSTRATIONS	SPECIAL PROVISIONS
<p>1. Design Specification</p> <p>Refer to illustrations in Section 3.4, “Tenant Signage Design Guidelines.”</p>	
<p>2. Sign Area Measurement of Sign Area:</p>  <p>Sample Calculation: 120 (linear feet) x 2 sf (sign area/linear foot)= 240 sf sign area permitted</p> <p style="text-align: center;"><u>Illustration A</u></p>	<p>a) Alternatively, where a street front façade is 200 feet long or greater and the opaque wall surface areas exceed 80% of the street front façade, the maximum area allowed for signs shall not exceed 5% of the area of the street-front façade (see Illustration B).</p> <p>b) There shall be no restrictions on the placement of signs on private streets.</p>
<p style="text-align: center;">Calculation of Sign Area:</p>  <p style="text-align: center;"><u>Illustration C: Letter Sign</u> Calculated at 75% of circumscribed sign area</p>  <p style="text-align: center;"><u>Illustration D: Awning Sign</u> Calculated at 100% of circumscribed sign area</p> <p>Sample Calculation: Opaque Surface Area: Street Front Facade Area = 205' x 28' (approximate) = 5,740 sf Opaque Surface Area = Street Front Facade - Transparent Facade = 5,740 sf - 80 sf = 5,660 sf Percent Opacity = Opaque Facade Area / Street Front Facade Area = 5,660 sf / 5,740 sf = 99% Opaque Surface Area is greater than 80%.</p> <p>Maximum Sign Area: 5,740 sf (facade area) x .1 (10 percent of street front facade area) = 574 sf sign area permitted</p> <p style="text-align: center;"><u>Illustration B (Special Provision)</u></p>	

SIGN STANDARD	APPLICABLE SIGN TYPES ⁽¹⁾				SPECIFIC STANDARDS
	T.1.1 Wall Sign	T.1.2 Pedestrian Sign	T.1.3 Awning Sign	T.1.4 Banner Sign ⁽²⁾	
3. Sign Height	X	X	X	X	Signs shall not exceed 6 feet in height.
4. Sign Projection	X	X	X	X	a) Signs shall be located flat against the building and shall not extend more than 18 inches from the wall of the building, except as provided for pedestrian signs and canopy signs below and under the “Special Provisions” to the right.
		X			b) Signs shall not project more than 4 feet from the face of the wall.
			X		c) Signs shall not project more than 6 feet from the face of the wall.
5. Sign Placement	X	X	X	X	a) Signs shall not project above the roof surface.
	X	X	X	X	b) Signs shall be centered above the window of the highest floor or above the highest window on the same floor for the multi-story or vertical mixed-use buildings. However, signs shall not be placed above the second story. Alternatively, signs may be centered on the main building entrance.
		X	X	X	c) Signs shall provide a minimum clearance height of 8 feet above an exterior corridor, exit court, or sidewalk.
		X		X	d) Signs shall be spaced a minimum of 25 feet apart.
	X	X	X	X	e) For Multiple Tenant and Multiple Building tenant arrangements, sign placement shall be coordinated in an overall signage program.

Table T.1 Notes:

- (1) For specific sign types not specified here, refer to Chapter 35, “Sign Regulations,” in the County of Sacramento Zoning Code. Refer to Section 335-09 of the Zoning Code for prohibited signs.
- (2) Promotional banner signs or grand opening signs are permitted subject to Section 335.09.5(h) of the Zoning Code.

ILLUSTRATIONS	SPECIAL PROVISIONS
<p>3. Sign Height</p> <p>Refer to illustrations A and B on page 25.</p>	<p>Where a street front façade is 200 feet long or greater and the opaque wall surface areas exceeds 80% of the street front façade, the maximum area allowed for signs shall not exceed 8 feet in height (see Illustration B).</p>
<p>4. Sign Projection</p>  <p style="text-align: center;">Beam-Mounted Sign Soffit-Mounted Sign</p> <p style="text-align: center;"><u>Illustration E</u></p>	<p>Signs mounted to a beam or rigidly suspended from a beam, canopy, or porch shall not exceed 2'-6" in height.</p> <p>Signs mounted below the soffit of a porch, canopy, or overhang perpendicular to the building shall not exceed 12 inches below a beam or soffit line (see Illustration E).</p>
<p>5. Sign Placement</p> <p>Refer to the illustrations in Section 3.4, "Tenant Signage Design Guidelines," for sign placement guidelines.</p>	

SIGN STANDARD	APPLICABLE SIGN TYPES (1)				SPECIFIC STANDARDS
	T.1.1 Wall Sign	T.1.2 Pedestrian Sign	T.1.3 Awning Sign	T.1.4 Banner Sign (2)	
6. Sign Illumination	X	X	X	X	Signs may be illuminated on the condition that it is: a) Arranged not to produce glare for other properties in the vicinity. Light sources shall not be visible from the adjacent property or public street. b) Illumination sources shall be indirect or interior illuminated. All illumination shall be non-blinking. c) No exposed incandescent bulbs greater than 11 watts shall be permitted. d) Backlighting of awnings, canopies, and similar structures shall be based on the following: If the lighting system is fluorescent, the fixtures shall be UL rated for protected outdoor use, with cool white tubes not to exceed 800 milliamps. If the lighting system consists of (or includes) lights other than fluorescent tubes, the luminance level shall not exceed the luminance produced by the fluorescent system above.
			X		

Table T.1 Notes:

- (1) For specific sign types not specified here, refer to Chapter 35, "Sign Regulations," in the County of Sacramento Zoning Code. Refer to Section 335-09 of the Zoning Code for prohibited signs.
- (2) Promotional banner signs or grand opening signs are permitted subject to Section 335.09.5(h) of the Zoning Code.

ILLUSTRATIONS	SPECIAL PROVISIONS
<p>6. Sign Illumination</p> <p>Refer to Section 3.4, "Tenant Signage Design Guidelines," for different examples of sign illumination.</p>	

Table T.2 Building Mounted Sign Design Standards

SIGN STANDARD	APPLICABLE SIGN TYPES ⁽¹⁾			SPECIFIC STANDARDS
	T.2.1 Monument Sign	T.2.2 Directory Sign	T.2.3 Directional Sign	
1. Permitted Number of Signs	X	X	X	One freestanding sign shall be permitted per legal lot, for each street frontage.
2. Design Specification	X	X	X	Tenant names and addresses displayed on a standardized monument structure. Refer to the design drawings in Appendix I.
3. Maximum Sign Area	X	X	X	150 square feet, per face, for a maximum of two faces
4. Sign Height	X	X	X	10 feet
5. Sign Setback	X	X	X	Signs shall be located a minimum of 10 feet from the existing street improvements or right-of-way, measured to the nearest edge of the support.
6. Sign Placement	X	X	X	a) Signs shall be spaced a minimum of 50 feet from an adjacent freestanding sign or adjacent parcel.
	X	X	X	b) Signs shall be located along a public street front, preferably near an intersection or site access drive, with maximum site visibility.
7. Sign Illumination	X	X	X	a) Signs may be illuminated subject to the following: Sign lighting shall be arranged not to produce glare on other properties in the vicinity. Light sources shall not be visible from the adjacent property or public street.
	X	X	X	b) Illumination source shall be indirect or interior illuminated. All illumination shall be non-blinking.

Table T.2 Notes:

(1) For specific sign types not specified here, refer to Chapter 35, “Sign Regulations,” in the County of Sacramento Zoning Code. Refer to Section 335-09 of the Zoning Code for prohibited signs.

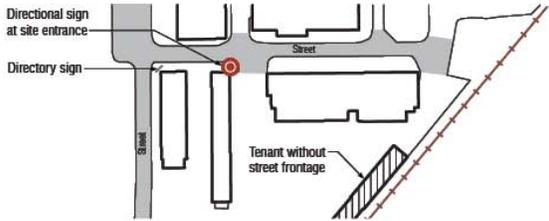
ILLUSTRATIONS	SPECIAL PROVISIONS
<p>1. Permitted Number of Signs</p>  <p style="text-align: center;">Illustration F</p>	<p>a) For tenants with no public street frontage, one additional sign is permitted for each entry. These signs shall have a maximum area of 12 square feet per tenant and shall be in addition to the sign area allowed for the parcel with public street frontage. Signs shall be clustered, whenever possible for Multiple Tenant or Multiple Building tenant arrangements. The maximum area of the sign shall not exceed 150 square feet (see Illustration F).</p>
<p>2. Design Specification</p> <p>Refer to the design drawings in Appendix I.</p>	
<p>3. Maximum Sign Area</p>	<p>b) For Multiple Tenant and Multiple Building tenant arrangements on a minimum of 4 acres, the maximum sign area shall be 150 square feet per face for a maximum of two faces.</p> <p>c) No restrictions apply for signs erected in outdoor courtyards or mall spaces, where signs aren't visible from the street.</p>
<p>4. Sign Height</p>	
<p>5. Sign Setback</p>	
<p>6. Sign Placement</p>	<p>One additional freestanding sign is permitted at each site access drive for tenants without public street frontage (see Illustration F).</p>
<p>7. Sign Illumination</p>	

Table T.3 Address Sign Design Standards

SIGN STANDARD	SPECIFIC STANDARDS
1. Permitted Number of Signs	One building-mounted address sign shall be allowed per primary elevation, facing a public street front, with a maximum of two permitted address signs. Address signs may be building mounted and/or placed on a freestanding monument or directory sign.
2. Design Specification	Address signs shall be designed as raised letters or painted with tenant address numbers only.
3. Sign Placement	a) Address signs shall be located on the main street front elevation above the window of the highest floor but shall not project above the roof. Alternatively, address signs can be uniformly centered on the main building entrance.
	b) For Multiple Tenant or Multiple Building tenant arrangements, address signs shall be coordinated with other tenant signage in an overall signage program.
4. Sign Illumination	Address signs may be illuminated on the condition: a) The lighting shall be arranged not to produce glare on other properties in the vicinity. Light sources shall not be visible from the adjacent property or public street.
	b) Illumination source shall be indirect or interior illuminated. All illumination shall be non-blinking.

ILLUSTRATIONS	SPECIAL PROVISIONS
<p>1. Permitted Number of Signs</p>	<p>For Multiple Tenant or Multiple Building tenant arrangements that share a public courtyard or interior space, one additional address sign is permitted facing the courtyard or interior space. A maximum of three address signs shall be permitted per tenant.</p>
<p>2. Design Specification</p>	
<p>3. Sign Placement</p> <p>Refer to illustrations in Section 3.4, “Tenant Signage Design Guidelines” for sign placement guidelines.</p>	
<p>4. Sign Illumination</p>	



Wall signs should be designed to compliment the architecture of the building.



Sign should contribute to the scale and character of the building façade.



Colors should be harmonious with each other and to site surroundings.



Sign lettering should be in scale with the building.

3.4 Tenant Sign Design Guidelines

1. Placement

- Wall signs should be placed to compliment the architecture of the building and to establish façade rhythm, scale, and proportion.
- Monument signs or freestanding signs should be placed at street corners or building and site entrances for maximum visibility to help identify key intersections and entrances.

2. Scale/Size

- Signs should be scaled consistent with the proportions and scale of building elements in the façade.
- Signs should not exceed the size, height, and setback requirements of the applicable land use district without prior approval from McClellan Park and the County Planning Director.

3. Materials

- Materials used in both the sign and support structures should complement the building and/or complex being served by the sign.

4. Colors

- Colors should be harmonious with each other and should not clash with other elements on-site, when viewed in daylight or at night.
- Use of too many colors should be avoided (four colors or less is preferred). Black and white are counted as colors.
- The color of the background and letters or graphic logos should significantly contrast with each other.

5. Sign Lettering and Typeface

- Lettering should be in proportion to the sign and building.
- No more than two fonts are recommended for visual clarity.

6. Logos/Graphic Elements

- When used, corporate logos and graphics should be incorporated and integrated into the overall sign design.

7. Lighting

- Tenant identification signs may be illuminated, provided that the lighting is integrated into the overall building architecture or site design.
- Externally illuminated signs are preferred.
- If electrical raceways are necessary, they should be as thin and narrow as possible, and should not extend beyond the width or height of the sign lettering or graphics. All conduits and junction boxes should be concealed from public view.



Sign logo placement should be related to the design of the sign and electrical raceways integrated with the architecture of the building.



Externally illuminated signs are preferred.

Figure 3.1 Single Tenant Sign Design—Sign Placement and Scale



ENCOURAGED: Characters in scale and related to the building architecture



ENCOURAGED: Logo related to characters; both related to the building architecture



ENCOURAGED: Sign base related to the building architecture (truss system)

Figure 3.2 Single Tenant Sign Design—Sign Placement and Scale



DISCOURAGED: Characters overwhelm the sign band; wall sign and building address are unrelated to the building architecture

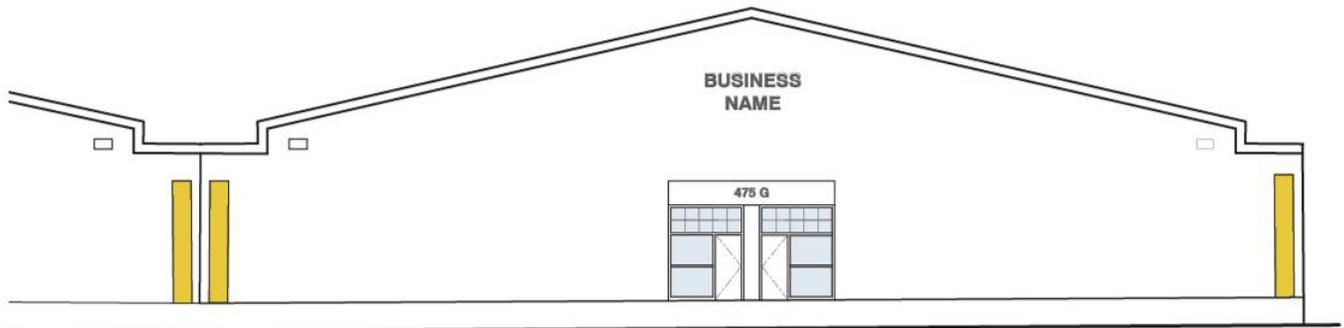


DISCOURAGED: Logo unrelated to sign characters



DISCOURAGED: Sign is overscaled and obscures the building architecture

Figure 3.3 Multiple Tenant/Multiple Building Sign Design



ENCOURAGED: Painted tenant identification signs and addresses scaled and related to (centered on) the architecture

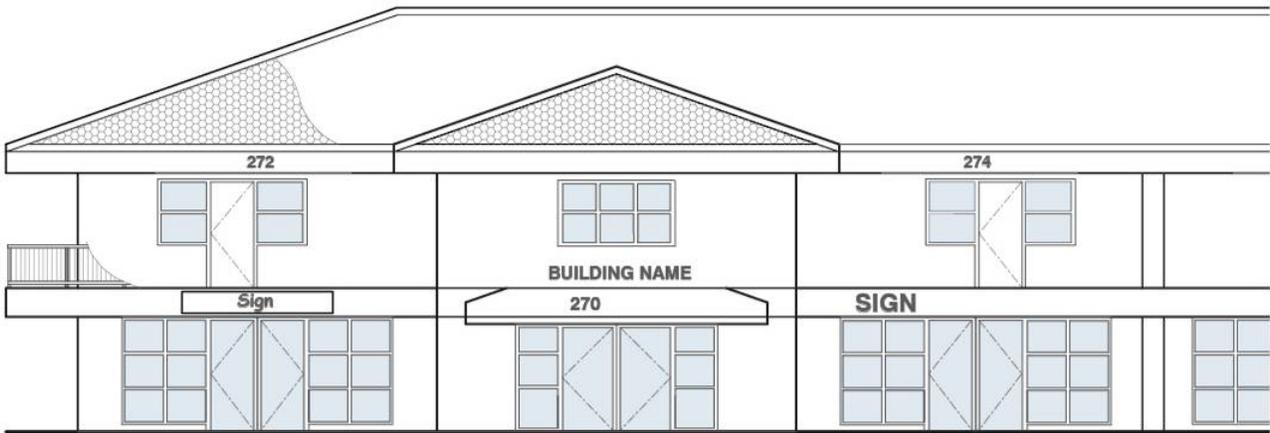


ENCOURAGED: Painted address signs add color and identity to large blank wall surfaces. Simple, bold fonts recall the sprayed characters used on jets.

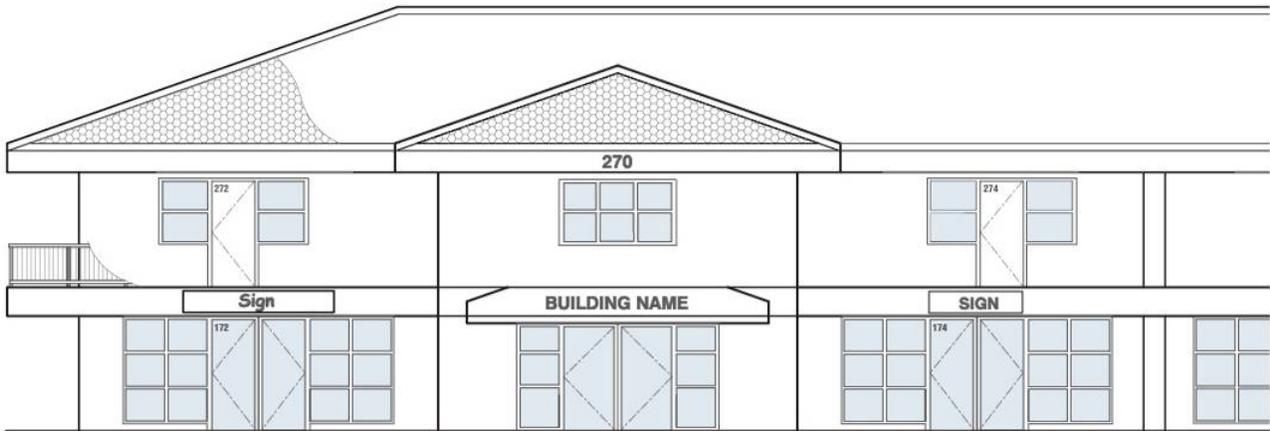


ENCOURAGED: Hangar sign concept used to identify different warehouse tenants contributes to the aviation theme of McClellan Park. Tenant sign is centered on the building base board.

Figure 3.4 Multiple Tenant/Multiple Building Tenant Sign Design



DISCOURAGED: Different fonts and different sign base and alignment create a disjointed appearance.



ENCOURAGED: Different fonts on a uniform sign base and same alignment provide interest yet do not create a disjointed appearance. Address numbers with coordinated building placement and design give equal recognition to each tenant.

4 | Temporary Event Signs

4.1 Event Information Signs

E.1 Sales/Advertising Banner Signs

Identify special grand opening or sale events

Standards

- Grand opening or special sales banners are allowed for a maximum of 30 days. The maximum sign area for banner signs shall be 60 square feet per face and shall provide a minimum height clearance of 8 foot from the sidewalk.

E.2 Freestanding Event Identification Signs

Identify special events occurring at McClellan Park

Standards

- All event signs shall be approved in writing by McClellan Park.

E.3 Freestanding Event Directional Signs

Directs vehicular traffic to park events

Standards

- Maximum area of signs shall be 6 square feet per sign face. Event signage stands may be designated at different locations within McClellan Park.



E.1 Sales Banner Sign

5 | Site Information Signs

5.1 Site Information Signs

S.1 Signs for Parks and Open Space

Identify and provide information for the parks, open space, and trails at McClellan Park

Standards

- Signs for parks will be developed in conjunction with the Sacramento County Parks Department.
- Signs for parks may include information on hours of operation, directional signs, and park entry and identification signs.
- A wetland interpretative program may be developed at a later date in conjunction with Sacramento County.

S.2 McClellan Park Jet Services Signs

Identify signs for McClellan Park Jet Services

Standards

- Signs shall be placed at key access points to the airfield site, on directional wayfinding signs, and on fences or walls to demarcate the site boundaries. Signs shall be placed 50 feet in advance of vehicle access entries. See Figure 5.1 for proposed site locations.
- McClellan Park Jet Services signs shall be coordinated.

S.3 Warning Signs

Identify prohibited access areas or other public hazards

Standards

- Warning signs shall be placed 50 feet in advance of vehicle entry gates and a minimum of 50 feet apart. Warning signs shall be placed on fences or walls to define area boundaries.



Existing Parks and Open Space Signs

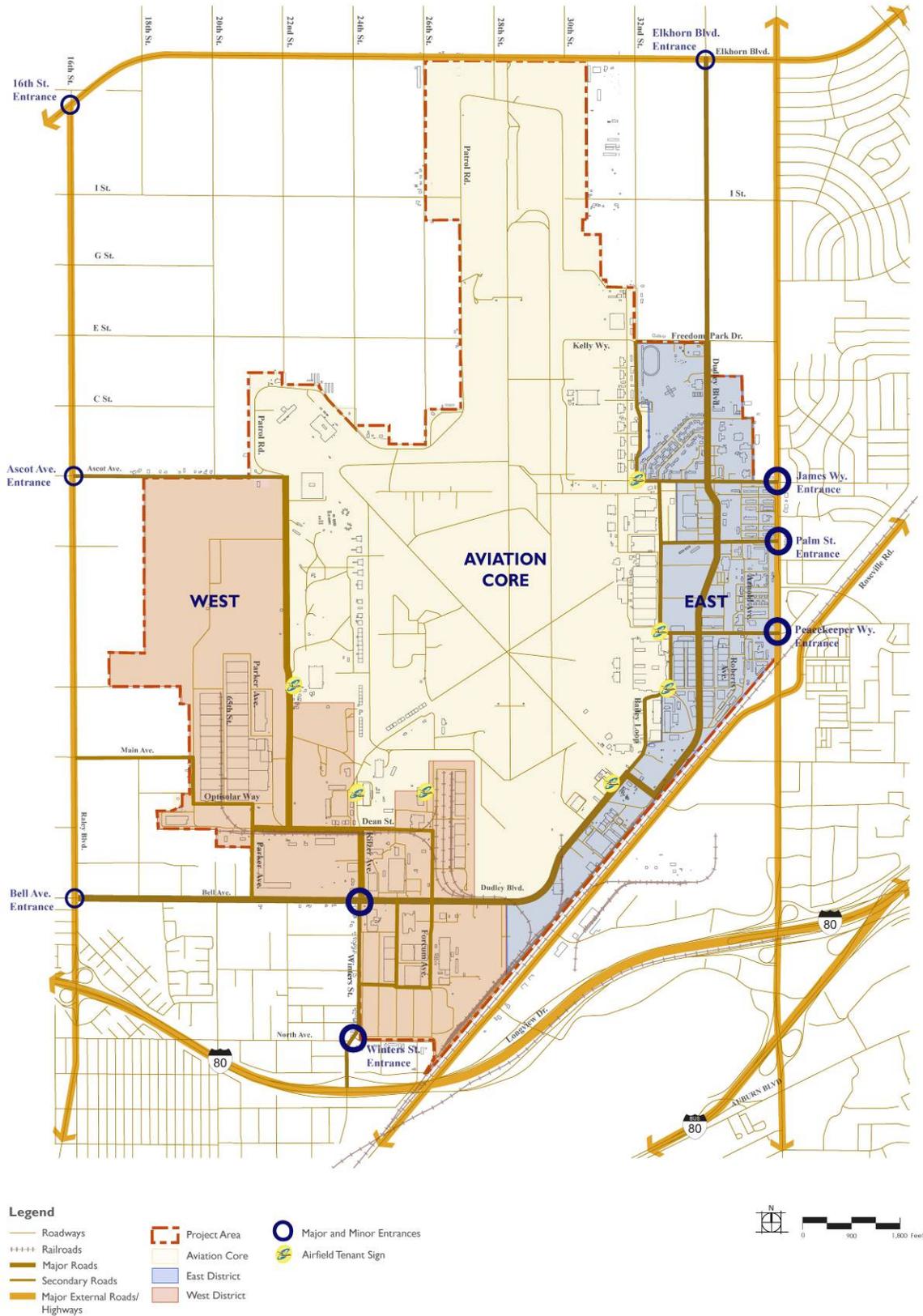


Existing Jogging Trail Sign



Existing Airfield Warning Signs

Figure 5.1 McClellan Park Jet Services Signs



6 | Appendix I

6.1 Design Drawings

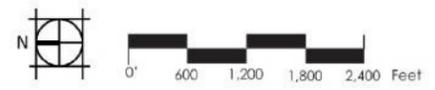
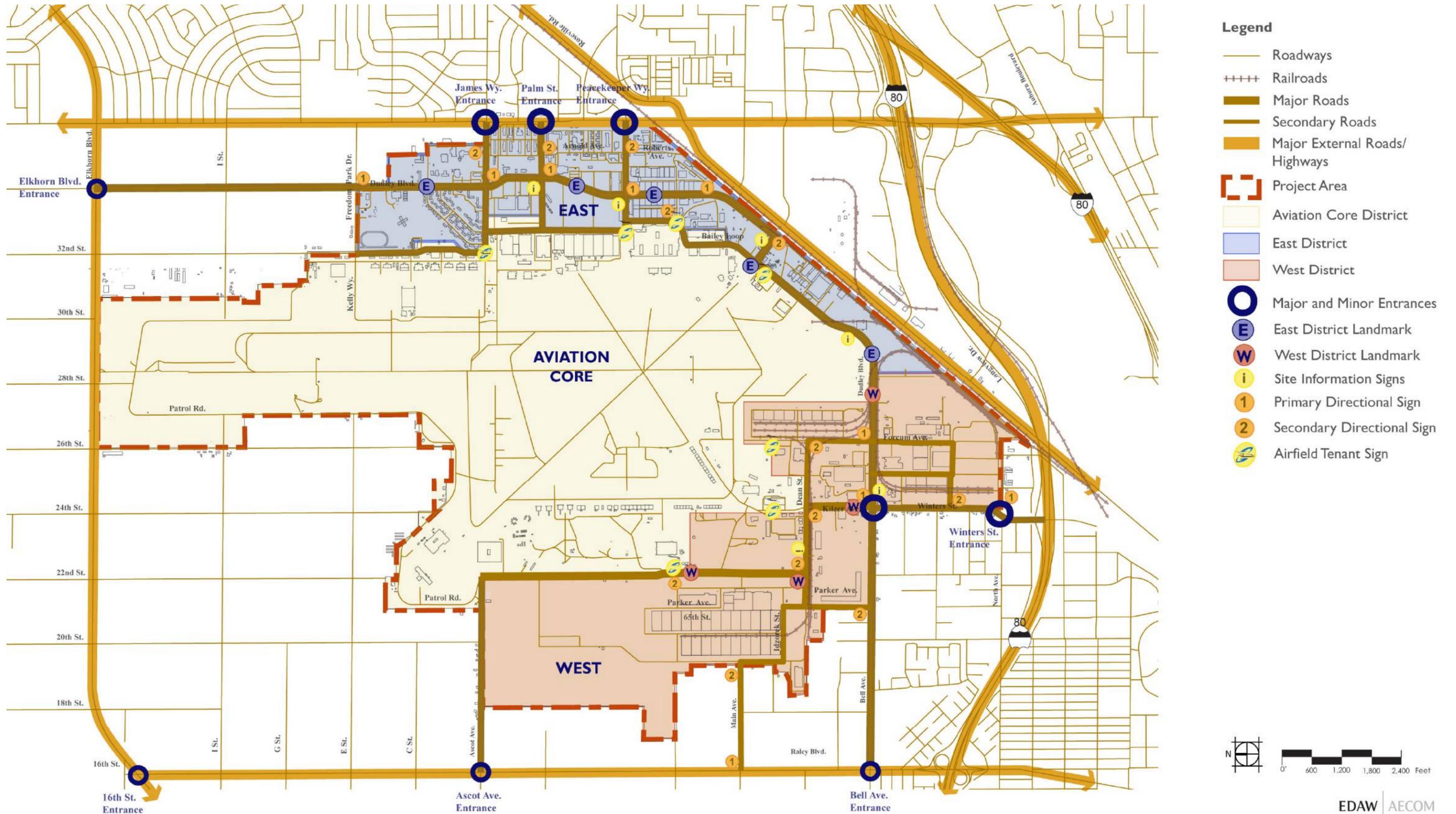
This chapter includes the design drawings (typical elevations, sections, and sign dimensions) for the wayfinding and tenant directory signs planned for McClellan Park (refer to the list of figures below).

The design drawings in this section are representative of the signage design concepts and level of quality for signs at McClellan Park and should not be regarded as final engineered drawings. Minor adjustments to the selection of materials, colors, or other design details shall be permitted by through administrative review so long as the signage designs are consistent with the intent of this signage master plan.

List of Figures

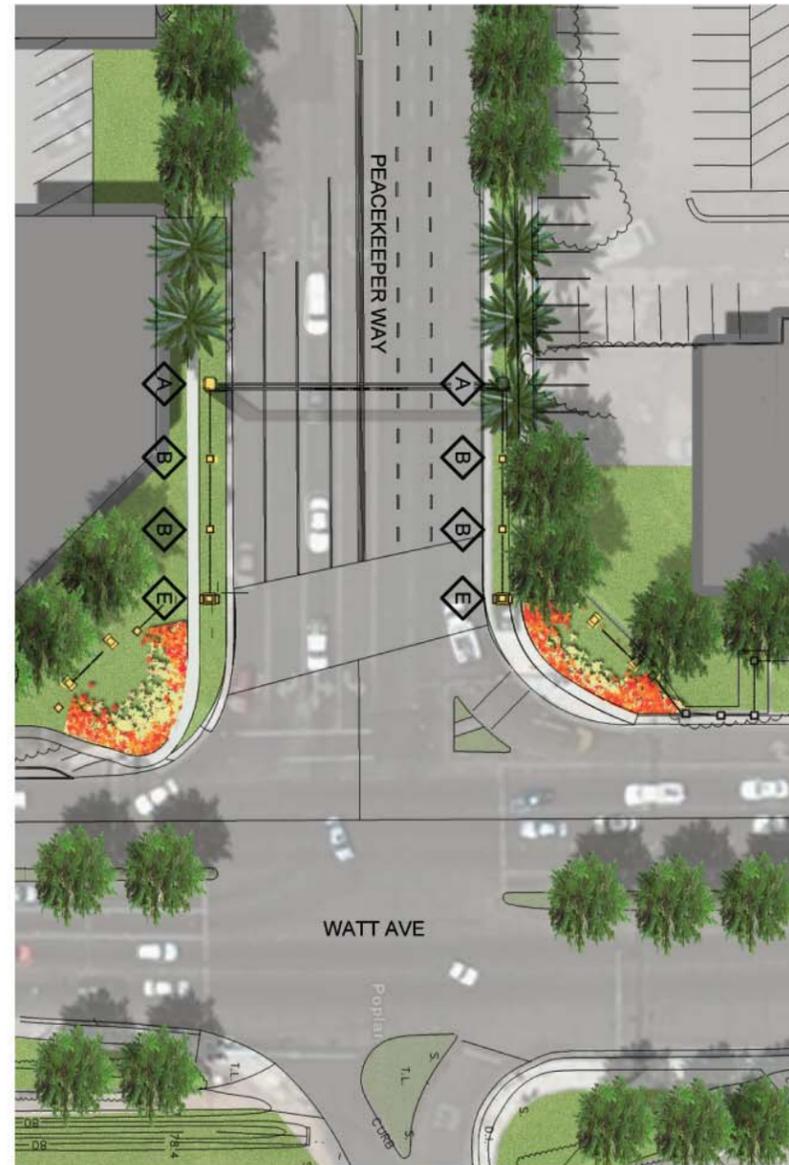
Figure 2.1	Wayfinding Signage Locations
Figure MP.1.1	Site Entry Monument Sign at Peacekeeper Way
Figure MP.1.2	Site Entry Monument Sign at Palm Avenue
Figure MP.1.3	Site Entry Pilasters at Peacekeeper Way
Figure MP.1.4	Site Entry Monument Pilasters
Figure MP.2.1	Primary Directional Signs
Figure MP.2.2	Secondary Directional Signs
Figure MP.3	Landmark Signs
Figure MP.4	Site Information Map
Figure T.2.2	Freestanding Tenant Directory Sign-Large
Figure T.2.2a	Freestanding Tenant Directory Sign-Small

Figure 2.1 Wayfinding Signage Locations



EDAW | AECOM

Figure MP.1.1 Site Entry Monument Sign at Peacekeeper Way



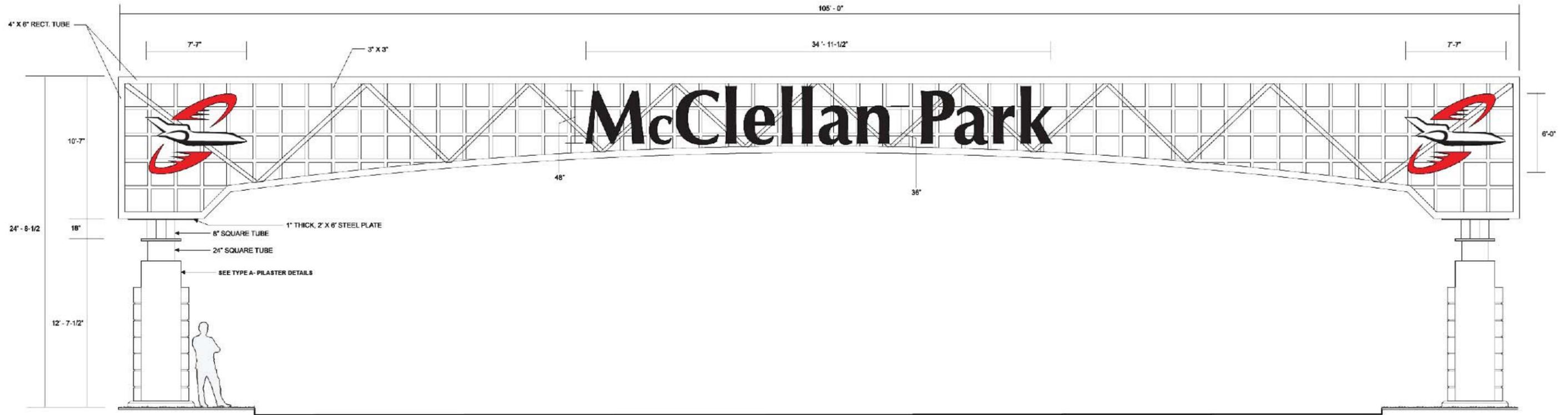
SITE PLAN VIEW

Source: Calpo, Hom & Dong Architects
EDAW, Inc.

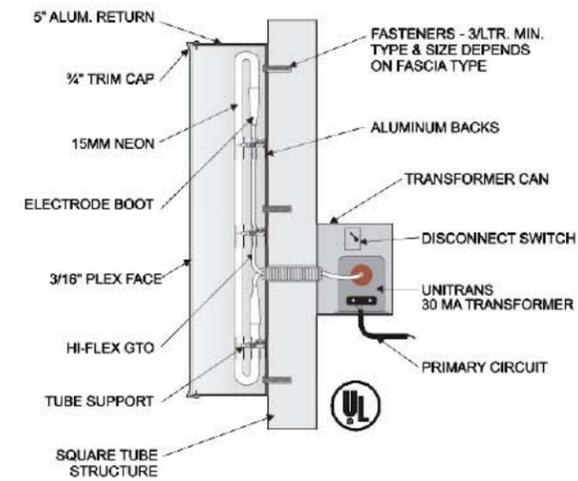


VIEW FROM WATT AVENUE

*Note: The entryway landscape design and sections for Peacekeeper Way depicted here are conceptual and subject to change with further design development.

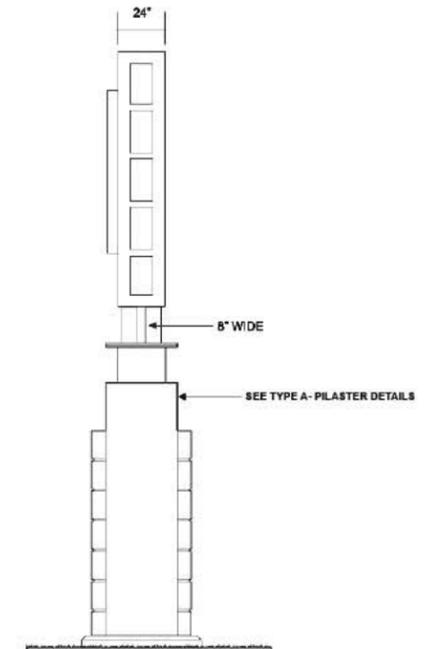


ELEVATION VIEW
Scale 1/8" = 1'-0"



TYPICAL LIGHTING DETAIL

(Note: LED lighting may be used in place of fluorescent lighting, typical)



SIDE VIEW

Figure MP.1.2 Site Entry Monument Sign at Palm Avenue



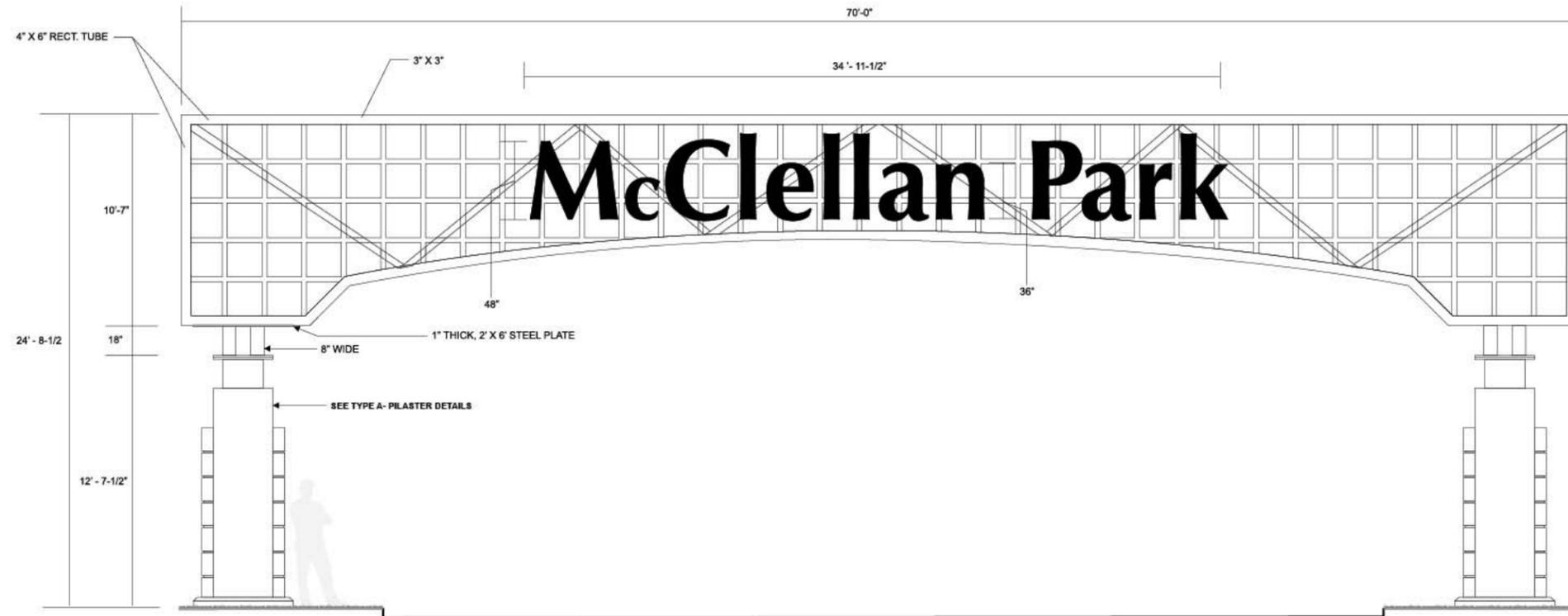
SITE PLAN VIEW



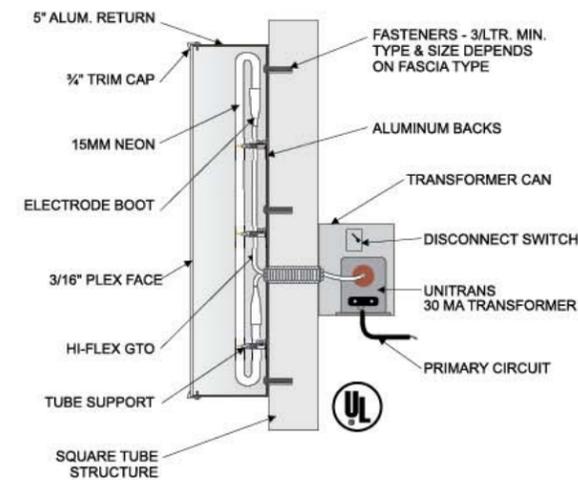
VIEW FROM WATT AVENUE

Source: Calpo, Hom & Dong Architects
EDAW, Inc.

*Note: The entryway landscape design and sections for Palm Avenue depicted here are conceptual and subject to change with further design development.

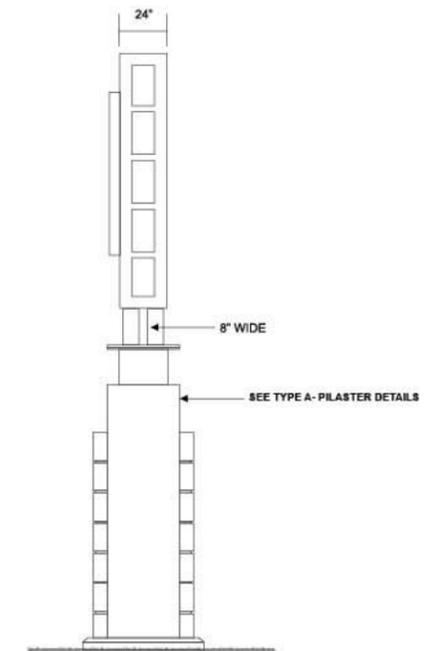


ELEVATION VIEW
Scale 1/8" = 1'-0"



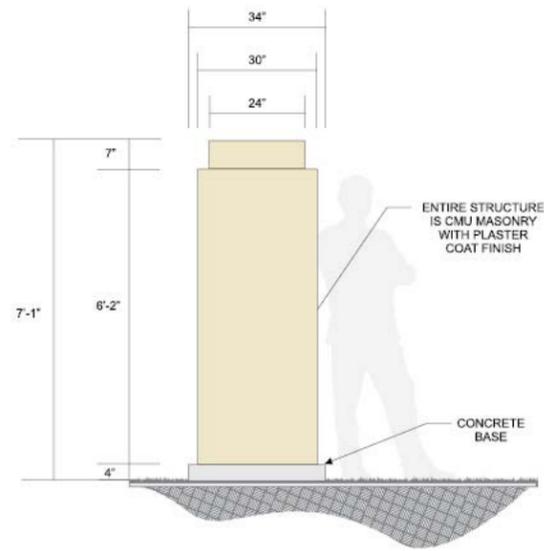
TYPICAL LIGHTING DETAIL

(Note: LED lighting may be used in place of fluorescent lighting, typical)

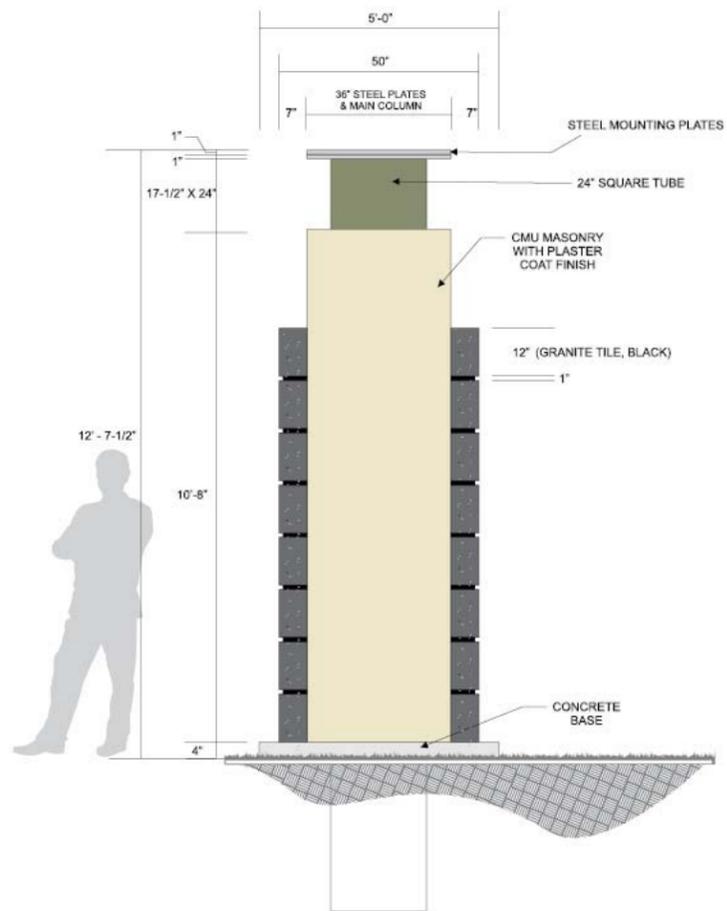


SIDE VIEW

Figure MP.1.3 Site Entry Pilasters at Peacekeeper Way



ELEVATION VIEW
Scale 1/4" = 1'-0"



ELEVATION VIEW
Scale 1/4" = 1'-0"

Figure MP.2.1 Primary Directional Signs

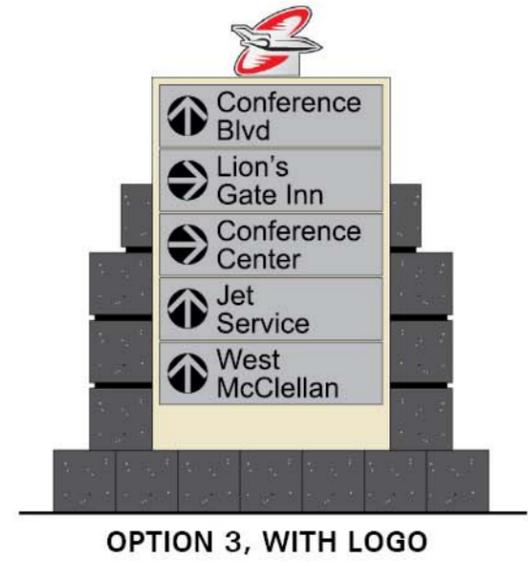
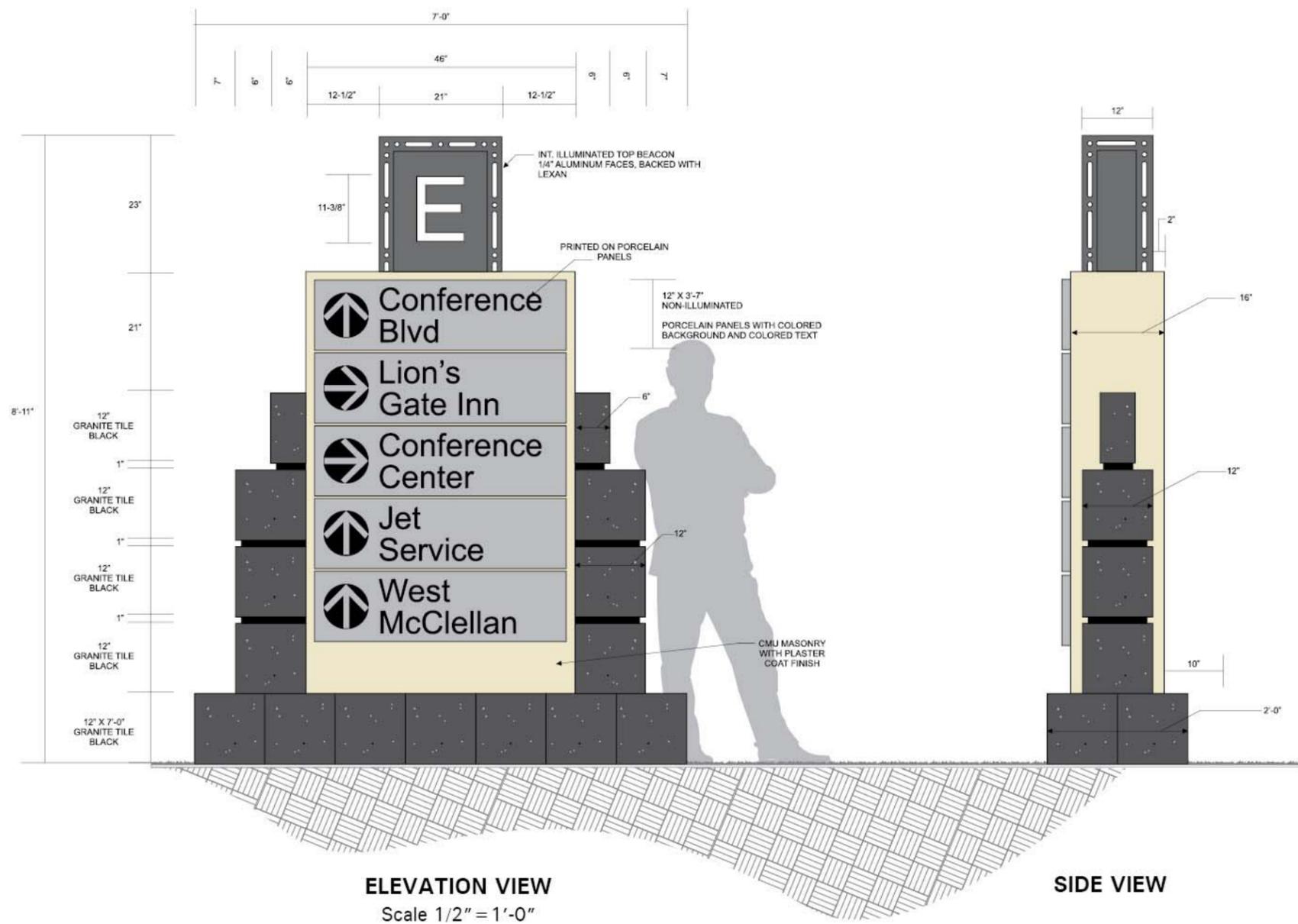


Figure MP.2.2 Secondary Directional Signs

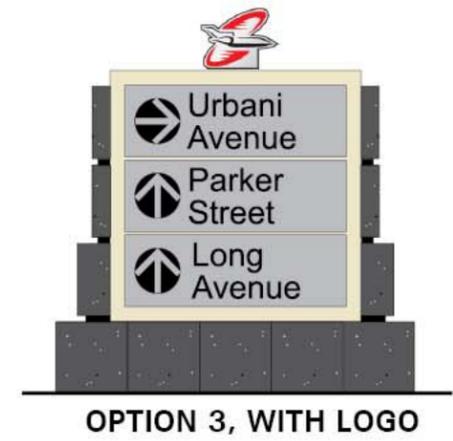
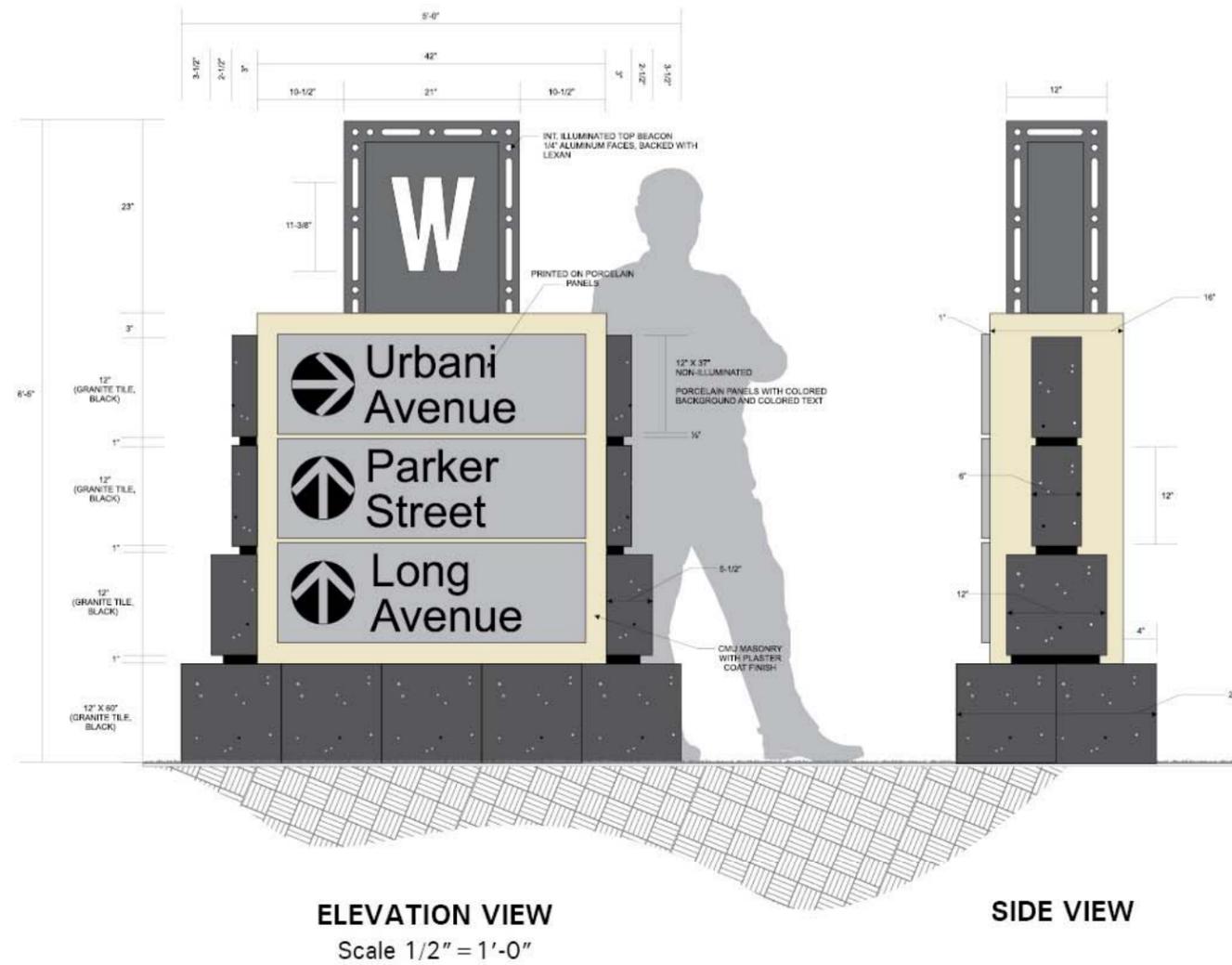


Figure MP.3 Landmark Signs

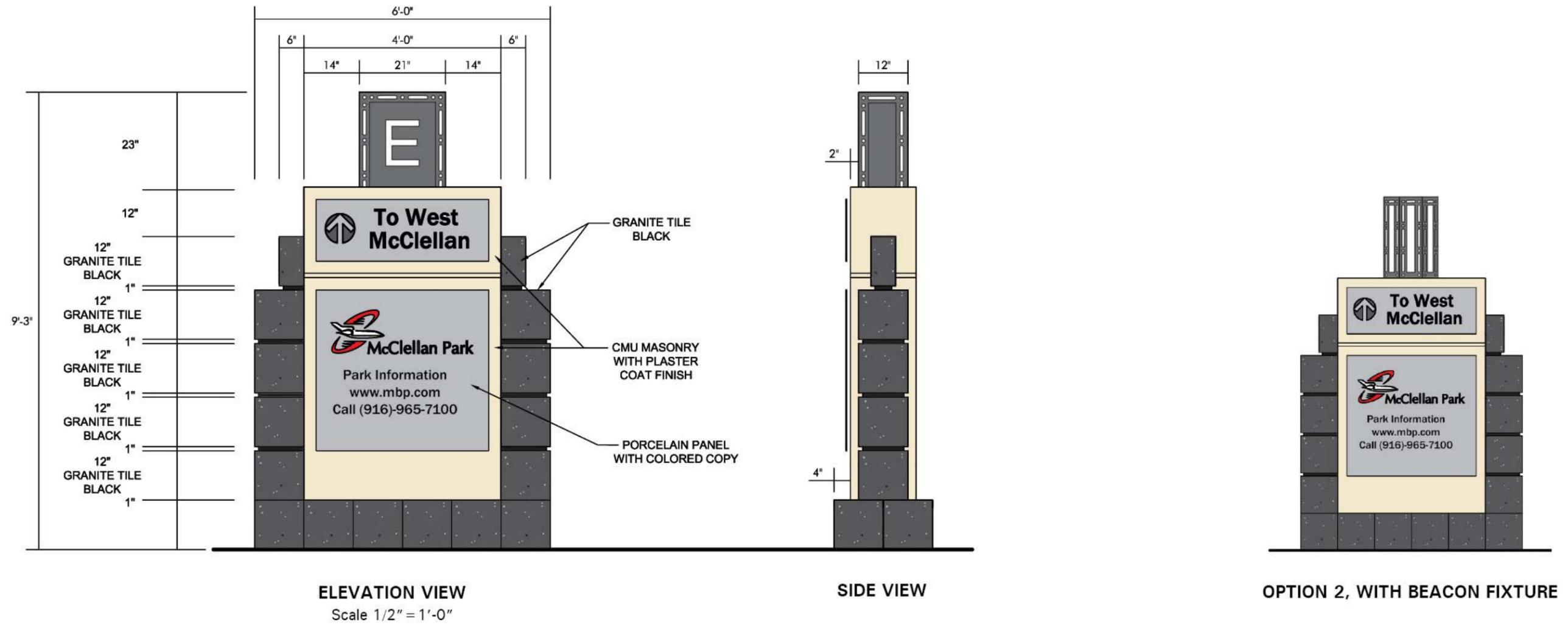
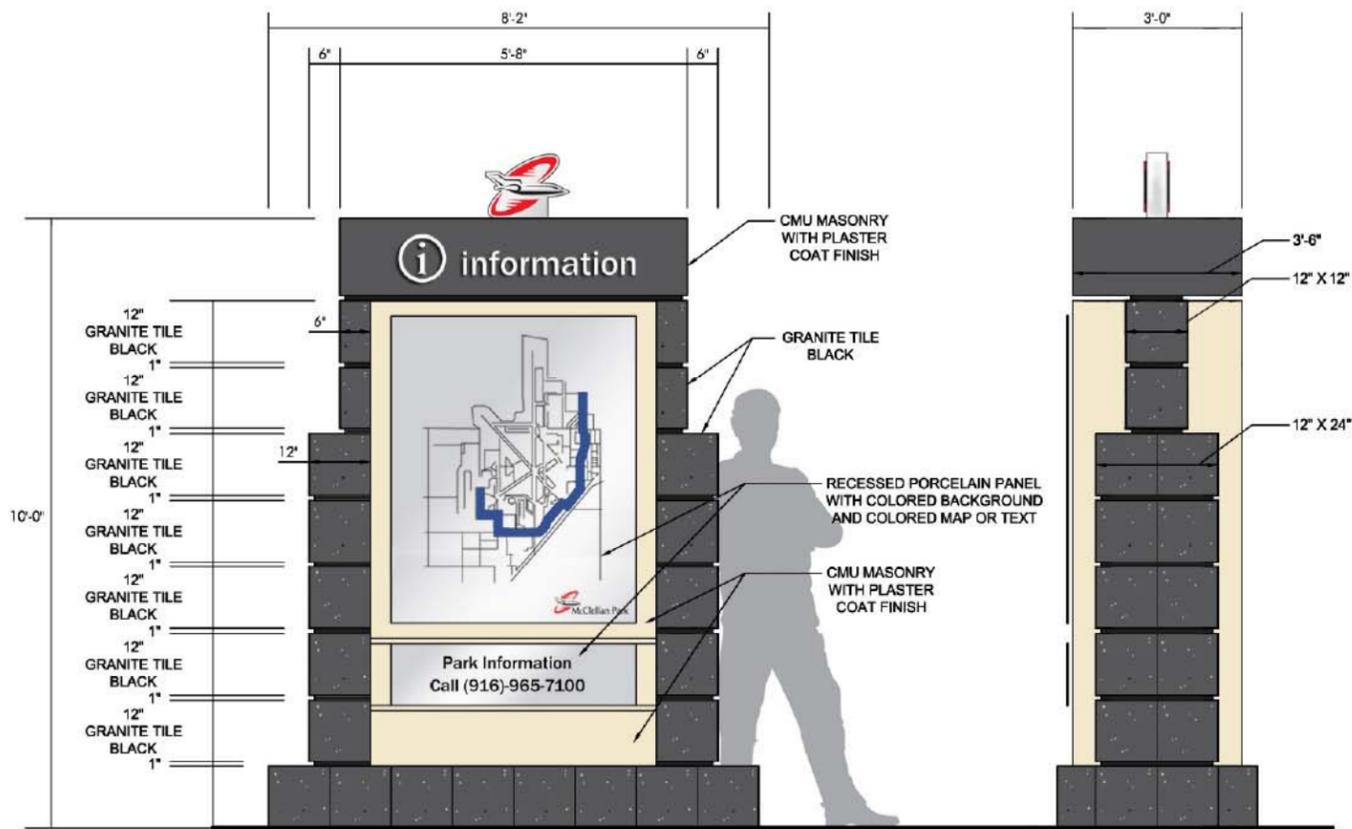


Figure MP.4 Site Information Map

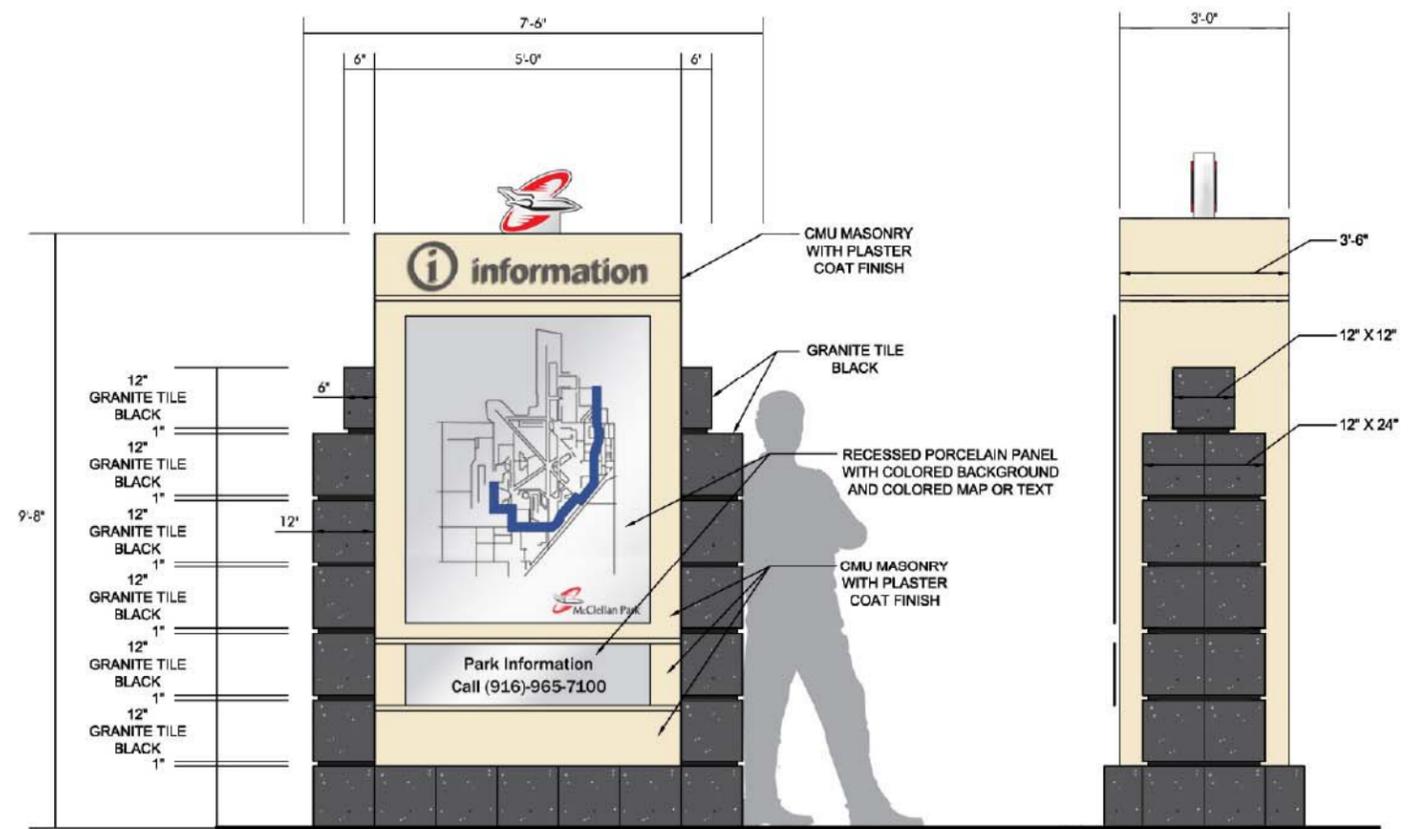
OPTION 1:

OPTION 2:



ELEVATION VIEW
Scale 3/8" = 1'-0"

SIDE VIEW



ELEVATION VIEW
Scale 3/8" = 1'-0"

SIDE VIEW

Figure T.2.2 Freestanding Tenant Directory Sign-Large

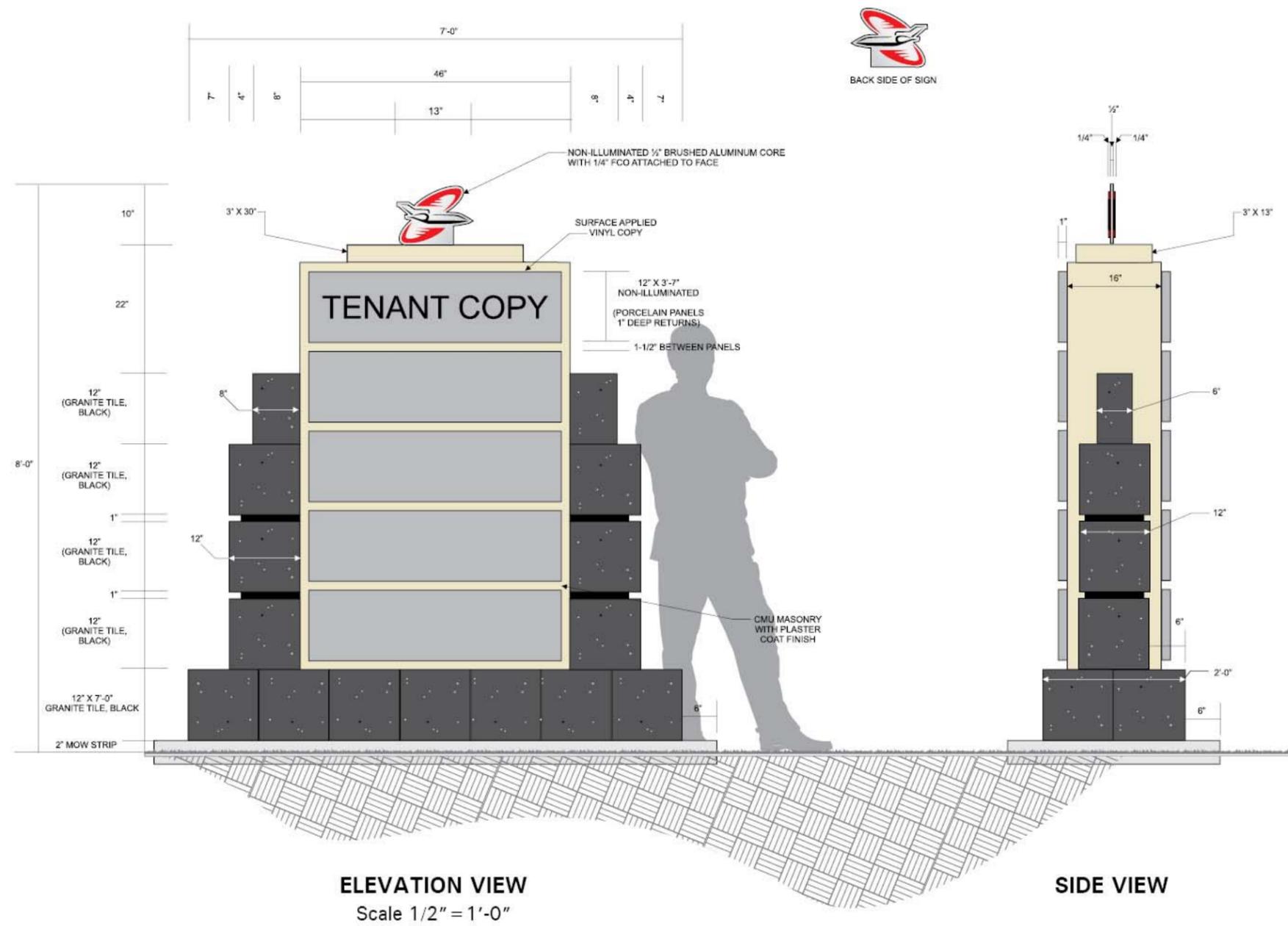


Figure T.2.2a Freestanding Tenant Directory Sign-Small

